



PLANNING AND ZONING BOARD/ LOCAL PLANNING AGENCY

SPECIAL MEETING AGENDA

WEDNESDAY, JANUARY 8, 2020 AT 5:30 PM

CITY HALL - COMMISSION CHAMBERS

1126 EAST STATE ROAD 434, WINTER SPRINGS, FLORIDA

CALL TO ORDER

Roll Call

Invocation

Pledge Of Allegiance

Approval Of The Agenda

REGULAR AGENDA – PART I

500. Election for Chairperson of the Planning and Zoning Board/ Local Planning Agency for Calendar Year 2020

501. Election for Vice-Chairperson of the Planning and Zoning Board/ Local Planning Agency for Calendar Year 2020

AWARDS AND PRESENTATIONS

100. Not Used

INFORMATIONAL AGENDA

200. Not Used

PUBLIC INPUT

Anyone who wishes to speak during Public Input on any Agenda Item or subject matter will need to fill out a "Public Input" form. Individuals will limit their comments to three (3) minutes, and representatives of groups or homeowners' associations shall limit their comments to five (5) minutes, unless otherwise determined by the City Commission.

CONSENT AGENDA

300. The Office of the City Clerk requests that the Planning And Zoning Board/Local Planning Agency review and approve the Wednesday, December 4, 2019 Planning And Zoning Board/Local Planning Agency Regular Meeting Minutes.

Attachments: [Minutes](#)

PUBLIC HEARINGS AGENDA

[400.](#) Development of Wendy's Fast Food Restaurant #12660

Attachments: [Exhibit 1 – Vicinity Map](#)
[Exhibit 2 – Aesthetic Review Plans](#)
[Exhibit 3 – Final Engineering Plans](#)
[Exhibit 4 – Traffic Review](#)
[Exhibit 5 – Waiver Application](#)
Exhibit 6 – Development Agreement (In development)

REGULAR AGENDA

500. Not Used

REPORTS

PUBLIC INPUT

Anyone who wishes to speak during Public Input on any Agenda Item or subject matter will need to fill out a "Public Input" form. Individuals will limit their comments to three (3) minutes, and representatives of groups or homeowners' associations shall limit their comments to five (5) minutes, unless otherwise determined by the City Commission.

ADJOURNMENT

PUBLIC NOTICE

This is a Public Meeting, and the public is invited to attend and this Agenda is subject to change. Please be advised that one (1) or more Members of any of the City's Advisory Boards and Committees may be in attendance at this Meeting, and may participate in discussions.

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City of Winter Springs at (407) 327-1800 "at least 48 hours prior to meeting, a written request by a physically handicapped person to attend the meeting, directed to the chairperson or director of such board, commission, agency, or authority" - per Section 286.26 *Florida Statutes*.

"If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based" - per Section 286.0105 *Florida Statutes*.

CITY OF WINTER SPRINGS, FLORIDA
MINUTES
PLANNING AND ZONING BOARD/LOCAL PLANNING AGENCY
REGULAR MEETING
DECEMBER 4, 2019

CALL TO ORDER

The Regular Meeting of Wednesday, December 4, 2019 of the Planning and Zoning Board/Local Planning Agency was called to Order at 5:30 p.m. by Chairperson Kok Wan Mah in the Commission Chambers (City Hall, 1126 East State Road 434, Winter Springs, Florida 32708).

Roll Call:

Chairperson Kok Wan Mah present
Vice-Chairperson Kevin McCann, present
Board Member James Evans, present
Board Member Michael Ferrante, absent
Board Member Bart Phillips, present
Assistant to the City Clerk Tristin Motter, present

A moment of silence was followed by the Pledge of Allegiance.

No changes were made to the Agenda.

AWARDS AND PRESENTATIONS

100. Not Used

INFORMATIONAL AGENDA

200. Not Used

PUBLIC INPUT

Chairperson Mah opened “Public Input”.

Skylar Ramsey, 1502 Cardinal Street, Longwood, FL 32750 approached the Board, explained he was in AP Government at Winter Springs High school and asked “What inspired you to get involved in your City government and make a change?”

Board Members took turns expressing their sentiment and gratitude for the question. All stated a similar desire to help further their community and get involved as their inspiration.

Nora L’Heureux, 1203 Oselot Trail, Winter Springs, FL 32708 spoke in reference to agenda item 400, The Studios at Tuscawilla. Ms. L’Heureux was in favor of the project stating, “This is the kind of thing we need in our community for our families to be able to go to.”

Chairperson Mah closed “Public Input”.

CONSENT AGENDA

300. The Office Of The City Clerk Requests That The Planning And Zoning Board/Local Planning Agency Review And Approve The Tuesday, November 12, 2019 (Rescheduled From Wednesday, November 6, 2019) Planning And Zoning Board/Local Planning Agency Regular Meeting Minutes.

REGARDING THE TUESDAY, NOVEMBER 12, 2019 PLANNING AND ZONING BOARD/LOCAL PLANNING AGENCY REGULAR MEETING MINUTES, “I MOVE TO APPROVE THE MINUTES.” MOTION BY BOARD MEMBER EVANS. SECONDED BY BOARD MEMBER PHILLIPS. DISCUSSION.

VOTE:

CHAIRPERSON MAH: AYE

VICE-CHAIRPERSON McCANN: AYE **Agenda Note: See Reports**

BOARD MEMBER EVANS: AYE

BOARD MEMBER PHILLIPS: AYE

MOTION CARRIED.

PUBLIC HEARINGS AGENDA

400. The Studios At Tuscawilla

Mrs. Marla Molina, Senior City Planner, Community Development Department introduced the proposal and gave a brief overview of the history of the parcel. Mrs. Molina noted the applicant was requesting modifications to the Developer's Agreement to allow for more uses and reviewed conditions, restricted uses, and traffic counts. The staff recommendation was relayed and discussion opened for additional questions.

Chairperson Mah expressed concern about a potential coffee shop and the traffic analysis.

Ms. Sandra Gorman, Senior Traffic Engineer, CPH, Inc., 5601 Mariner St., Tampa FL, 33609 addressed concerns and discussion continued on variations of coffee shops with and without drive thrus.

Further discussion followed on street parking. Staff advised that these concerns could be addressed in the final engineering process.

Chairperson Mah opened "Public Input"

No one addressed the Board

Chairperson Mah closed "Public Input".

Board Member Evans relayed a concern about noise generating activities and asked if making a recommendation to the City Commission would be best. Staff alternatively suggested that language could be put in the Developer's Agreement.

Mr. Louis Chavez, 1051 Deer Run Drive, Winter Springs, Florida 32708 advised that the applicant was working with sound engineers to address any issues of sound bleeding.

Further discussion ensued on noise, potential square footage of the property, and on-street parking.

"I WOULD LIKE TO APPROVE THE AMENDMENT TO THE DEVELOPER AGREEMENT, TO INCLUDE SECTION 3.5 AS WELL INCLUDING, BUT NOT LIMITING, A RECOMMENDATION TO THE COMMISSION FOR THE

RESTRICTIONS OF THE SITE SETBACKS, NO DRIVE-THRU; NO OUTDOOR VENUE, MUSIC, OR PERFORMANCES; AS WELL AS THE LIMIT ON HOURS OF OPERATION.”

MOTION BY BOARD MEMBER EVANS. SECONDED BY CHAIRPERSON MAH. DISCUSSION.

VOTE:

VICE-CHAIRPERSON McCANN: AYE

BOARD MEMBER PHILLIPS: AYE

BOARD MEMBER EVANS: AYE

CHAIRPERSON MAH: AYE

MOTION CARRIED.

REGULAR AGENDA

500. Not Used

REPORTS

****Agenda Note**** Staff asked for clarification regarding Board Member McCann’s official vote regarding Item 300. Vice-Chairperson McCann voted ‘Aye’.

Staff asked for the Board to consider two (2) dates, January 7th or 8th, to hold a Special meeting due to the Regular meeting falling on January 1, 2020, a City holiday. Discussion followed and the Board agreed on January 8, 2020.

Assistant to the City Clerk Tristin Motter called a roll call vote to confirm support of the January 8, 2020 Special Meeting.

VOTE:

BOARD MEMBER EVANS: AYE

BOARD MEMBER PHILLIPS: AYE

CHAIRPERSON MAH: AYE

VICE-CHAIRPERSON McCANN: AYE

MOTION CARRIED.

Vice Chairperson McCann expressed concerns with the scheduling and movement of the meetings.

PUBLIC INPUT

Chairperson Mah opened “Public Input”.

No one spoke.

Chairperson Mah closed “Public Input”.

ADJOURNMENT

Chairperson Mah adjourned the Regular Meeting at 6:11 p.m.

RESPECTFULLY SUBMITTED:

TRISTIN MOTTER
ASSISTANT TO THE CITY CLERK

NOTE: These Minutes were Approved at the _____, 2020 Planning And Zoning Board/Local Planning Agency Regular Meeting.



PUBLIC HEARINGS AGENDA ITEM 400
 PLANNING AND ZONING BOARD/LOCAL PLANNING AGENCY
 WEDNESDAY, JANUARY 8, 2020 | SPECIAL MEETING

TITLE

Development of Wendy’s Fast Food Restaurant #12660

SUMMARY

The Community Development Department requests that the Planning and Zoning Board/Local Planning Agency hold a Public Hearing to consider Aesthetic Review, Final Engineering Plans, multiple Waiver requests, and the Development Agreement for a 2,163 SF Wendy’s Fast Food Restaurant, a permitted use within the Town Center.

General Information				
Applicant	Infinity Engineering Group, LLC			
Property Owner(s)	JDBS Winter Springs, LLC (JDBS)			
Location	1218 E. State Road 434 Winter Springs, FL 32708			
Tract Size	±.59 Acres			
Parcel ID Number	06-21-31-507-0000-0020			
Zoning Designation	Town Center (T-C) T5 Transect Urban Center Zone			
FLUM Designation	Town Center District			
Adjacent Land Use	North: Town Center District East: Town Center District	South: Town Center District West: Town Center District		
Principle building setbacks (from property line)	Front/principle plane: 0 ft.-8 ft. max (from front property line)	Rear: 3 ft. (from rear property line)	Side: 0 ft. min, 24 ft. max. (from side property line)	Frontage buildout: 80% min. (at front setback)
Development Standards	Lot Width: 18 ft. min., 180 ft. max.	Lot Depth: 30 ft. min., 160 ft. max.	Lot Coverage: 100% max.	

Development Permits	Not applicable Vacant
Development Agreement	Development Agreement Pending
Code Enforcement	Not applicable
City Liens	Not applicable

Background Data:

JDBS Winter Springs, LLC (The Ocean Bleu Group) is proposing to build a Wendy’s Fast Food Restaurant in the Winter Springs Town Center. The proposed 2,163 SF one two-story (faux second-story) building is located on a ±.59-acre parcel on the north side of S.R. 434, east of Tuskawilla Road, west of Michael Blake Boulevard, and directly in front of The Blake Apartments. The Wendy’s Fast Food Restaurant includes; a drive-thru pickup window, 28 indoor and 20 outdoor seating areas, on-site and on-street parking, bicycle parking, pedestrian access, enhanced landscaping, 6-ft. wide sidewalks, and a decorative aesthetic design package to both the building and surrounding site improvements.

Aesthetic Review Plans:

Pursuant to Section 9-603, which sets forth guidelines and minimum standards for Aesthetic Review packages, staff has utilized the below criteria in Section 9-603 to determine the following. The attached Aesthetic Review package includes all of the submittal requirements for aesthetic review as set forth in Section 9-600 through 9-607 and include the following: (a) a site plan; (b) elevations illustration all sides of structures facing public streets or spaces; (c) illustrations of all walls, fences, and other accessory structures and the indication of height and their associated materials; (d) elevation of proposed exterior permanent signs or other constructed elements other than habitable space, if any; (e) illustrations of materials, texture, and colors to be used on all buildings, accessory structures, exterior signs; and (f) other architectural and engineering data as may be required. The procedures for review and approval are set forth in Section 9-603.

Aesthetic Review

1.	<p>The plans and specifications of the proposed project indicate that the setting, landscaping, proportions, materials, colors, texture, scale, unity, balance, rhythm, contrast, and simplicity are coordinated in a harmonious manner relevant to the particular proposal, surrounding area and cultural character of the community.</p> <p>The proposed project consists of one two-story restaurant building (faux second-story) that provides a drive-thru lane and service window. The building has a tan, sand finish stucco façade, as well as cedar wood composite siding on covered patio the sides of the building. The building utilizes a neutral color scheme and various yet highly compatible materials.</p>
2.	<p>The plans for the proposed project are in harmony with any future development which has been formally approved by the City within the surrounding area.</p> <p>The proposed project is designed to contribute significantly to the quality architectural styles that are typical of the Winter Springs Town Center and the surrounding area. The proposed building represents a positive addition to the City of Winter Springs, and is a high-quality, unique design that is harmonious with its surroundings and will add value to the proposed location.</p>
3.	<p>The plans for the proposed project are not excessively similar or dissimilar to any other building, structure or sign which is either fully constructed, permitted but not fully constructed, or included on the same permit application, and facing upon the same or intersecting street within five hundred (500) feet of the proposed site, with respect to one or more of the following features of exterior design and appearance:</p> <ul style="list-style-type: none">a. Front or side elevations;b. Size and arrangement of elevation facing the street, including reverse arrangement; orc. Other significant features of design such as, but not limited to: materials, roof line, hardscape improvements, and height or design elements. <p>The front of the building which faces S.R. 434, features the “Wendy’s” trademark logo in a graphic format affixed to the faux second-story, including a covered outdoor patio and seating area which leads to an entrance/exit to the building, the design features pre-finished decorative metals and cedar wood composite siding on covered patio the sides of the building. The front also showcases glass windows from the ground floor to the top of the roof line. The building has a tan, sand finish stucco façade.</p>

	<p>The east side of the building, which will face Eagle Edge Lane, features the drive-thru area, which is screened by a six foot (6) landscape buffer. This side of the building features, the Wendy's trademark logo in white, a view of the outdoor patio, a strip of glass windows from the ground to the top of the building, and stucco decorated textured walls with earth tone colors.</p> <p>The rear of the building, which will face Sea Hawk Cove, features a "Wendy's" sign in text, and another "Drive-Thru" directional sign, menu and intercom system for ordering food.</p> <p>The west (vacant) side of the building features a parking lot, the drive-thru pickup windows, the Wendy's trademark logo in white text, a view of the outdoor patio, lighting features, stucco decorated walls with texture and earth tone colors.</p> <p>A parking lot drive-thru lane encompasses the north, east and south sides of the building.</p>
4.	<p>The plans for the proposed project are in harmony with, or significantly enhance, the established character of other buildings, structures or signs in the surrounding area with respect to architectural specifications and design features deemed significant based upon commonly accepted architectural principles of the local community.</p> <p>The proposed project enhances the character and overall aesthetics of the surrounding area. The City of Winter Springs is comprised of diverse architectural styles and, therefore, the proposed project represents a positive addition to this area of the City.</p>
5.	<p>The proposed project is consistent and compatible with the intent and purpose of this article, the Comprehensive Plan for Winter Springs, design criteria adopted by the city (e.g. Town Center guidelines, SR 434 design specifications) and other applicable federal, state or local laws.</p> <p>The proposed building is designed to contribute to the quality architectural styles that are typical of the surrounding area. This project represents a positive addition to the City of Winter Springs Town Center.</p>
6.	<p>The proposed project has incorporated significant architectural enhancements such as concrete masonry units with stucco, marble, termite-resistant wood, wrought iron, brick, columns and piers, porches, arches, fountains, planting areas, display windows, and other distinctive design detailing and promoting the character of the community.</p> <p>The proposed project is designed to contribute significantly to the quality architectural styles that are typical of the Winter Springs Town Center and the surrounding area. The proposed building represents a positive addition</p>

	to the City of Winter Springs, and is a high-quality, unique design that is harmonious with its surroundings and will add value to the proposed location.
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Final Engineering Plans

Stormwater:

The site’s stormwater is master planned into The Blake Apartments master stormwater pond, which is located east of the Cross Seminole Trail. The pond is complete and it complies with the applicable St. Johns River Water Management District and the City of Winter Springs permit requirements.

Water and Sewer:

Wendy’s will connect to City of Winter Springs water and sewer facilities along Sea Hawk Cove.

Transportation/Traffic Analysis:

Wendy’s Fast Food Restaurant will be accessed to and from the site from a driveway connection located on Sea Hawk Cove. Sea Hawk Cove is accessible from Michael Blake Boulevard and Eagle Edge Lane.

Traffic Planning and Design, Inc. prepared a Traffic Impact Analysis for the subject property. The trip generation of the proposed development was calculated with the use of trip generation rates obtained from the 10th Edition of the ITE Trip Generation Manual. The proposed development is projected to generate 158 new net daily trips, of which 87 will occur in the A.M. peak hour and 71 will occur in the P.M. peak hour. Adequate Level of Service (LOS) at all roadway segments will continue at all segments. Intersections to continue to operate at acceptable LOS.

The results of the intersection capacity analysis indicate that the all study intersections operate at satisfactory overall Levels of Service except for southbound approach at the intersection of SR 434 and Tuskawilla Road. Michael Blake Boulevard will increase LOS with signalization.

The proposed Wendy’s is 2,163 square feet which is consistent with the trip generation calculations presented in the traffic analysis and therefore the results of the traffic analysis remain consistent with the proposed development. The proposed projected traffic is consistent and comparable with the approved Starbucks development located east of the subject property.

Parking

A parking lot is located on the west side of the building. Developments within the Town Center do not have a specific parking ratio requirement. However, this development had been designed to meet the City's parking code outside of the Town Center which is 1.0 spaces per 100 SF, LDC Section 9-277(26). A parking lot is located on the west side of the building. A drive-thru lane encompasses the north, east and south sides of the building. The parking lot has 17 on-site, and 9 on-street parking spaces, including two handicap spaces, for a total of 28 parking spaces.

Waiver Requirement

Section 20-34. – Waivers.

- (a) Any real property owner may file a waiver application requesting a waiver for their real property from any term and condition of this chapter (except from the list of permitted, conditional and prohibited uses set forth in any zoning district category).
- (b) The Planning and Zoning Board shall be required to review all waiver applications and make a written recommendation to the City Commission. Such recommendation shall include the reasons for the Board's recommendation and show the board has considered the applicable waiver criteria set forth in this section.
- (c) Upon receipt of the Planning and Zoning Board's recommendation, the City Commission shall make a final decision on the application. If the City Commission determines that the Planning and Zoning Board has not made a recommendation on an application within a reasonable period of time, the City Commission may, at its discretion, consider an application without the Planning and Zoning Board's recommendation.
- (d) All waiver recommendations and final decisions shall comply with the following criteria:

Waiver criteria set forth in Subsection 20-34(d) are as follows:

1.	The applicant clearly demonstrates that the applicable term or condition clearly creates an illogical, impossible, impractical, or patently unreasonable result related to the proposed property and development.
2.	The proposed development plan is in substantial compliance with this chapter and in compliance with the comprehensive plan.
3.	The proposed development plan will significantly enhance the real property.
4.	The proposed development plan serves the public health, safety, and welfare.
5.	The waiver will not diminish property values in or alter the essential character of the surrounding neighborhood.
6.	The waiver granted is the minimum waiver that will eliminate or reduce the illogical, impossible, impractical, or patently unreasonable result caused by the applicable term or condition under this chapter.
7.	The proposed development plan is compatible and harmonious with the surrounding neighborhood.
8.	Whether the applicant has agreed to execute a binding development agreement required by city to incorporate the terms and conditions of approval deemed necessary by the city commission including, but not limited to, any mitigative techniques and plans required by City Code.

The applicant requests that the Planning and Zoning Board consider the nine (9) waiver requests below:

Waivers Request/Justification

1.	<p>The applicant requests a waiver to increase the front setback from S.R. 434, maximum to approximately ±54.6 feet. in lieu of a maximum of 8 feet.</p> <p><u>Justification:</u></p> <p>This waiver necessary based on the inclusion of a number of enhancements in front of the building, including an outdoor patio dining area, landscaping, and an access lane that functions as a frontage road for Wendy's and the adjacent commercial lot to the east. Imposing the 8' maximum setback would create an illogical or unreasonable result because the feature corner building could not otherwise be achieved.</p> <p>This waiver request is necessary to allow for the construction of the building on that corner without compromising the drive thru lane and pedestrian safety.</p>
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	<p><u>City Code:</u> Sec. 20-325. - Transect standards. T5 (Urban Center Zone) Principle building setbacks (from property line) Front/principle plane- 0 ft.—8 ft. max (from front property line)</p>
2.	<p>The applicant requests a waiver from the required minimum of zero (0)-foot and maximum of twenty-four-foot (24)-foot maximum side principle plane setback for the building with a side principle plane setback of ±91.44 feet from the western property line.</p> <p><u>Justification</u> This waiver request is due lot size, location, and intended use of proposed structure need for on-site parking and pedestrian connections.</p> <p><u>City Code:</u> Sec. 20-325. - Transect standards. Lot Design Guidelines Table. T5 (Urban Center Zone) Principle building setbacks (from property line) Side - 0 ft. min, 24 ft. max. (from side property line)</p>
3.	<p>The applicant requests a waiver to reduce the 80% frontage buildout at the front setback required in the T5 transect to approximately ±25 percent frontage.</p> <p><u>Justification</u> This Waiver request is necessary that it would be highly impractical for a small stand-alone fast food restaurant building on a ±.59-acre lot to achieve an 80% frontage buildout at the front setback, while still providing adequate parking, access, landscaping, and pedestrian facilities. To offset the frontage buildout reduction, the site includes enhanced landscaping, and a 6-foot wide sidewalk along the S.R. 434 frontage.</p> <p><u>City Code:</u> Sec. 20-325. - Transect standards. Lot Design Guidelines Table. T5 (Urban Center Zone) Frontage buildout - 80% min. (at front setback)</p>
4.	<p>The applicant requests a waiver to locate the drive-thru service window on the west side of the building rather than the rear of the building.</p> <p><u>Justification</u> Since the drive-thru lane is not to the rear of the building and will be visible from S.R. 434, intensified landscaping shall be provided between the drive-thru lane, which effectively blocks the view of vehicles in the drive-thru lane from the surrounding streets and sidewalks. Adjacent parking is proposed along the area adjacent to the two (2) drive-thru windows.</p>

	<p><u>City Code:</u> Sec. 20-324. - General provisions. 6. Drive-throughs. Drive-through service windows are only permitted in the rear in and alley accessed locations provided they do not substantially disrupt pedestrian activity or surrounding uses.</p>
5.	<p>The applicant requests a waiver to allow 10 parking spaces between landscaping islands in lieu of requiring landscaping islands every six (6) parking spaces.</p> <p><u>Justification</u> This waiver request is due small lot size and the need for adequate parking on site.</p> <p><u>City Code</u> Sec. 20-324. - General provisions. 8. f. Parking lot landscaping requirements.</p>
6.	<p>The applicant requests a Waiver to reduce the off-street parking lot setback from S.R. 434 from a required minimum setback of 50-feet to approximately 40-feet.</p> <p><u>Justification</u> Based on the relatively small sized lot and location of the off-street parking, plus the inclusion of landscaping along the S.R. 434 frontage, it is impossible to meet the minimum setback and to provide adequate screening of the off-street parking lot and provide key pedestrian connections.</p> <p><u>City Code</u> Sec. 20-324. - General provisions. 8c. Off-street surface parking lot placement. Off-street surface parking lots shall be set back a minimum of fifty (50) feet from the property line along the main street to accommodate liner buildings.</p>
7.	<p>The applicant requests a waiver for Commercial Area: (A) 6' sidewalk in lieu of a 12' sidewalk and (B) Greenspace to maintain 12' planting area (green space) in lieu of 15' greenspace.</p> <p><u>Justification</u> There is not enough room on the site and adjacent to the right-of-way to construct a side walk larger than 6' wide. The design is in harmony with current and proposed developments located on S.R. 434.</p> <p><u>City Code</u> Sec. 20-325 Transect T5 (Urban Center Zone) (c) <i>Thoroughfare standards.</i> (3) Urban Boulevard.</p>

8.	<p>The applicant requests a waiver for one freestanding monument sign.</p> <p><u>Justification</u> A waiver is required to construct a freestanding monument sign along State Road 434 frontage.</p> <p><u>City Code</u> Sec. 20-325 Transect T5 (Urban Center Zone) Sec. 20-327.1. - Signs. (a)</p>
9.	<p>The applicant requests a waiver to include a permanent menu board sign and internal lighting. At this time, only temporary menu board signs are permitted subject to the restrictions and uniform design standards set forth in this Town Center Code. The Town Center Code requires that signs shall be externally lit. The menu board sign requires internal lighting.</p> <p><u>Justification</u> A waiver is required to construct a menu sign and internal lighting for the operation of the Wendy's Fast Food Restaurant.</p> <p><u>City Code</u> Sec. 20-325 Transect T5 (Urban Center Zone) Sec. 20-327.1. - Signs. (a)</p>

In evaluation of the above nine (9) proposed waiver requests, the applicant has satisfied the eight (8) specific criteria as required. The proposed development plan is otherwise in substantial compliance with Chapter 20 of the City's Code of Ordinances and in compliance with the Comprehensive Plan.

Fiscal Impact:

Development of the subject property as a Wendy's Fast Food Restaurant is anticipated to provide an increase to the City's taxable value, as well as provide a catalyst for future commercial development in the surrounding area.

Impact Fees/Unit > Based on total SF (square footage), GFA (gross floor area) unless noted otherwise – Non-Residential.

Wendy's ~2,163 SF (Fast Food Restaurant w/ Drive-thru) Commercial
 Transportation/Road: \$ 19,216.00/1,000 SF GFA = \$ 69,177.60
 Fire: \$ 320.00/1,000 net SF = \$ 1,152.00
 Police: \$ 0.156 per SF = \$ 561.60
 Parks & Recreation: N/A
 City Impact Fees (Wendy's) Total = \$ 70,891.20

Procedural History:	
March 8, 2019	Combined Preliminary/Final Site Plan Application Submittal Under Review
May 7, 2019	Aesthetic Review Application
September 16, 2019	Waiver Application
December 12, 2019	Waiver Application - Revised
December 17, 2019	Community Workshop Meeting

Applicable Law, Public Policy, and Events:

Home Rule Powers
 Winter Springs Code of Ordinances
 Town Center District Code
 City of Winter Springs Comprehensive Plan

Communication Efforts:

The Meeting Agenda and this Agenda Item have been forwarded to the Planning and Zoning Board / Local Planning Agency members and are available on the City's Website, LaserFiche, and the City's Server. The Agenda has been forwarded to the Mayor and City Commission; City Manager; and City Attorney/Staff. Additionally, the Meeting Agenda has been sent to media/press representatives, all Homeowner's Associations on file with the City, all owners of real property adjacent to and within approximately one thousand feet of the subject property, all individuals who have requested Agenda information, Department Directors; and also posted outside City Hall; posted inside City Hall with additional copies available for the general public.

Recommendation:

Staff recommends that the Planning and Zoning Board/Local Planning Agency forward a recommendation of approval to the City Commission for the Aesthetic Review, Final Engineering Plans, multiple Waivers from the Town Center Code, and the Development Agreement for a 2,163 SF Wendy's Fast Food Restaurant. contingent upon the below conditions of approval.

Conditions of Approval:

Approval of the Final Engineering Plan, Aesthetic Plans, and Waivers shall be contingent upon the execution of the Development Agreement and completion of all obligations contained therein.

1. The Developer (JDDBS Winter Springs) shall be required to obtain a private easement to allow JDDBS Winter Springs to plant, install, construct, maintain, and repair landscaping, vegetation, and parallel parking spaces within the private right-of-way for that portion of Sea Hawk Cove known as "Tract D" per the Winter Springs Apartments Replat, Plat Book 82, Pages 63 through 66, in a width sufficient to accommodate the proposed landscaping, vegetation and parallel parking spaces as depicted in the Final Engineering Plans.
2. The Developer (JDDBS Winter Springs) shall be required to obtain a public easement in favor of the City of Winter Springs, in a form to be approved by the City Attorney, to allow for the construction and maintenance of a sidewalk for public pedestrian access and use within the private right-of-way for that portion of Sea Hawk Cove known as "Tract D" per the Winter Springs Apartments Replat, Plat Book 82, Pages 63 through 66, in a width sufficient to accommodate the proposed sidewalk as depicted in the Final Engineering Plans.
3. The Developer (JDDBS Winter Springs) shall be required to obtain a public easement in favor of the City of Winter Springs, in a form to be approved by the City Attorney, to allow for public parking use of the parallel parking spaces within the private right-of-way for that portion of Sea Hawk Cove known as "Tract D" per the Winter Springs Apartments Replat, Plat Book 82, Pages 63 through 66. The Developer shall not be permitted to close the parallel parking spaces on Sea Hawk Cove to the public, except for the purpose of making necessary repairs and conducting maintenance and provided five (5) business days' notice is given to the City. The Developer shall not be permitted to install signage labeling the parallel parking spaces for Wendy's customer use only, or for the sole use of any future business's customers.
4. The Developer shall obtain the easements described in Conditions of Approval 1-4 prior to obtaining any building permits.

5. The Developer currently owns both the subject parcel and the adjacent parcel, intended to be a future site of a Chase Bank, which will share a common driveway access. The common driveway access will be constructed to straddle the subject parcel's western property line. Therefore, should the Developer ever in the future sell or convey either the subject parcel, Parcel ID 06-21-31-507-0000-0020, or the adjacent parcel, Parcel ID 06-21-31-507-0000-0010, the Developer shall be required to reserve an ingress and egress easement over the common driveway for the benefit of the remaining parcel. Should the parties ever mutually desire to terminate said ingress and egress easement over the common driveway, prior to executing such termination, the Parties shall seek and receive consent from the City of Winter Springs and obtain an amendment to the site plan.
6. The Developer shall add a decorative railing for safety purposes along the sidewalk located between the parking lot and the drive-through window.

Attachments:

1. Exhibit 1 – Vicinity Map
2. Exhibit 2 – Aesthetic Review Plans
3. Exhibit 3 – Final Engineering Plans
4. Exhibit 4 – Traffic Review
5. Exhibit 5 – Waiver Application
6. Exhibit 6 – Development Agreement

Project Site

1218 E. SR 434, Winter Springs, FL 32708

Parcel ID 06-21-31-507-0000-0020





Purdy + Muroff Architecture, Inc.

1711 North Hills Avenue, Tampa, Florida 33607, Ph: 813-953-0055 Fax: 813-953-4350 Web Site: www.purdymuroff.com



Purdy + Muroff Architecture, Inc.

1711 North Hills Avenue, Tampa, Florida 33607, Ph 813/333-0633 Fax 813/333-4136 Web Site: www.purdyandmuroff.com

EXTERIOR FINISH SCHEDULE

SF-1	STOREFRONT - "DARK BRONZE"
PUW	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP/ BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANODIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
E-2	CEMENTITIOUS FINISH - "WENDY'S RED"
E-7	CEMENTITIOUS FINISH - "DARK GREY"
E-8	CEMENTITIOUS FINISH - "TAN"
E-9	CEMENTITIOUS FINISH - "HOMESTEAD BROWN"
KW-1	KNOTWOOD PRE-FINISHED ALUMINUM SIDING MATERIAL "LIGHT OAK"
KW-2	KNOTWOOD PRE-FINISHED ALUMINUM SIDING MATERIAL "KNIGHTS ARMOUR"
KW-3	KNOTWOOD PRE-FINISHED ALUMINUM SIDING MATERIAL "BRITE RED MATT"
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)
COL-1	PAINTED STEEL COLUMN

SITE NUMBER: 12660
 BASE MODEL: SMART 30-2.0
 ASSET TYPE: FRANCHISEE
 CLASSIFICATION: NEW
 OWNER: JAE RESTAURANT GROUP
 BASE VERSION: 2018
 UPGRADE CLASSIFICATION:
 NEW BUILD
 PROJECT YEAR: 2019
 FURNITURE PACKAGE: 2018
 DRAWING RELEASE: FALL 2018

Hartley + Purdy Architecture, Inc.
 1711 North Himes Avenue, Tampa, Florida, 33607, Ph: 813.953.4005 Fax: 813.953.4350 Web: www.hartleypurdy.com

PROJECT TYPE: NEW
 SMART 30-2.0

Wendy's

REV.	DATE	DESCRIPTION

ISSUE DATE: 10.04.19
 PROJECT NUMBER: 1801.19
 DRAWN BY: MM
 CHECKED BY: MM

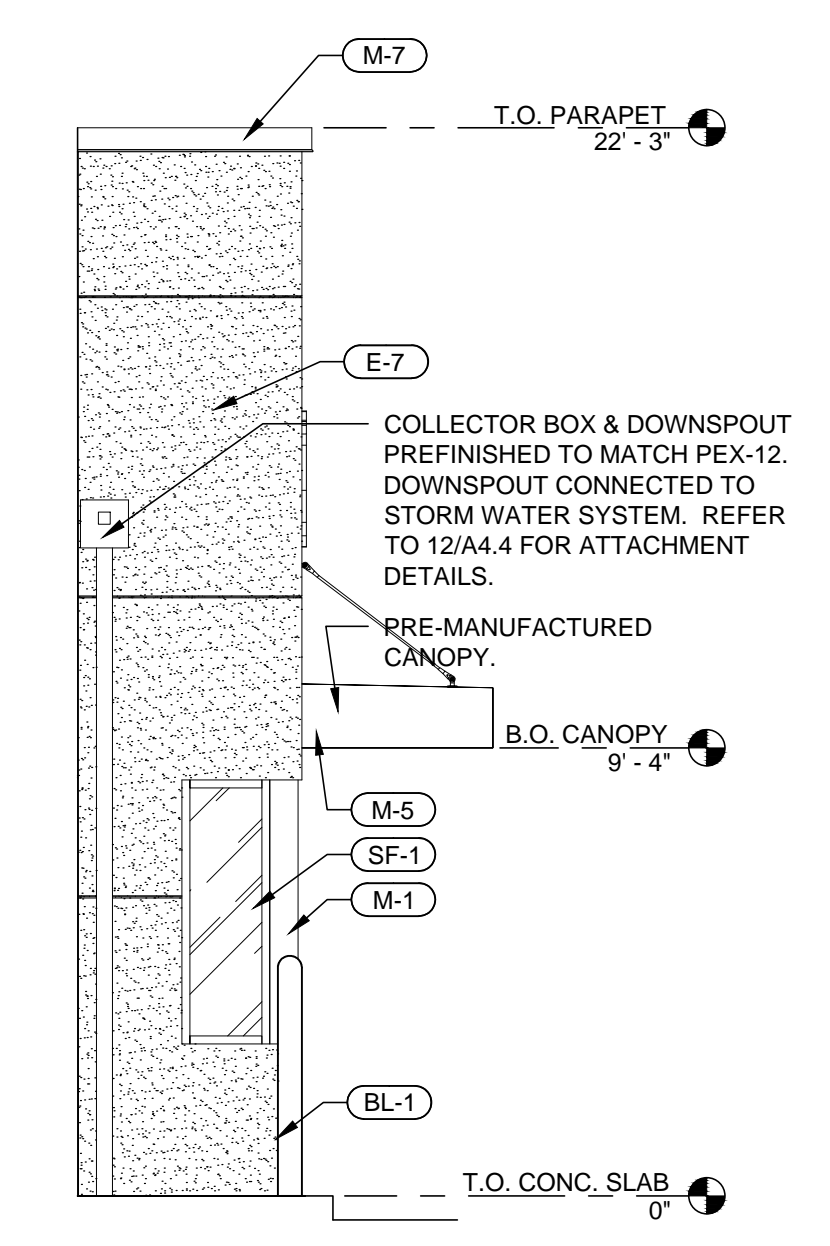
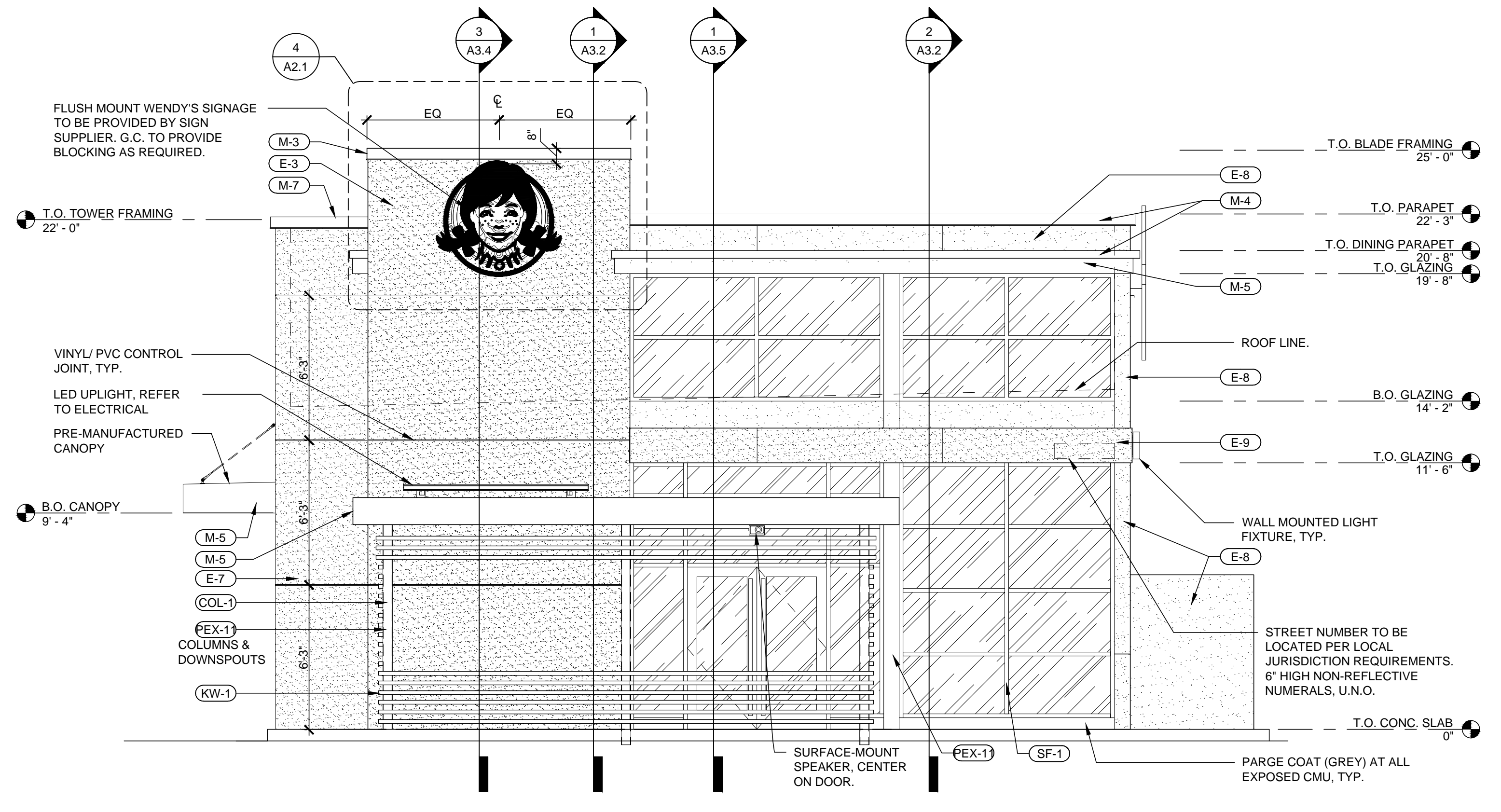
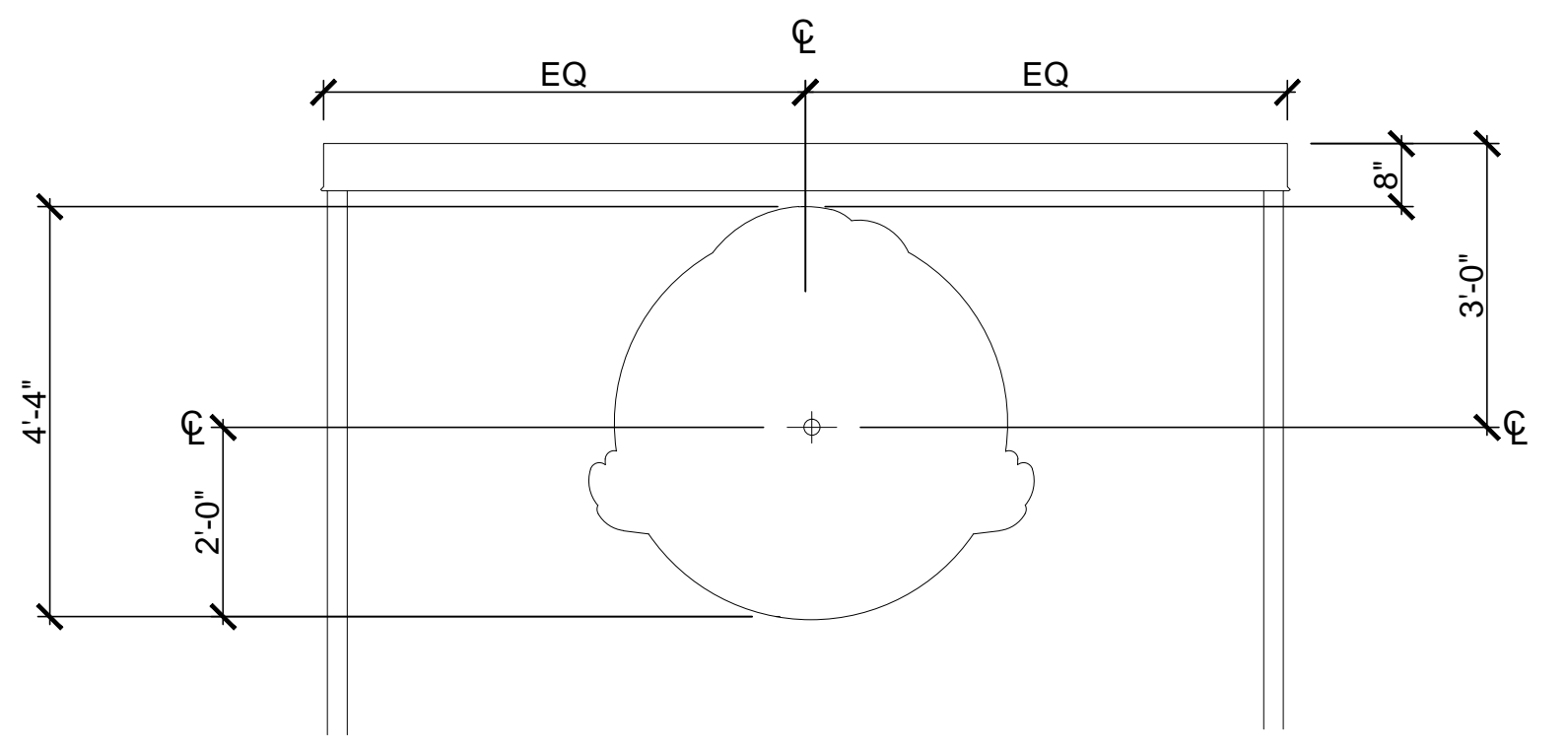
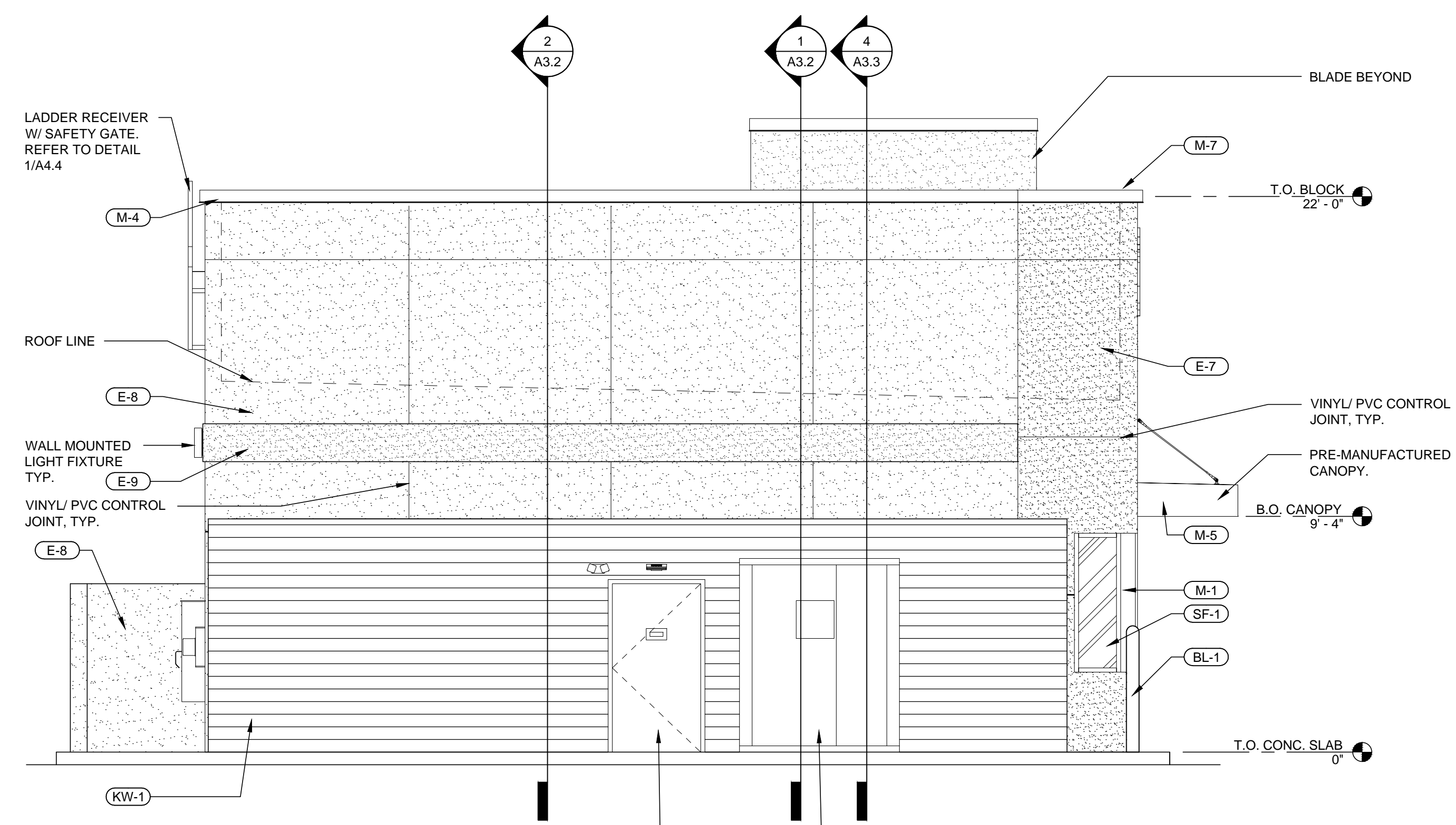
MICHAEL MUROFF
 AR 92344

EXTERIOR ELEVATIONS

SHEET NUMBER

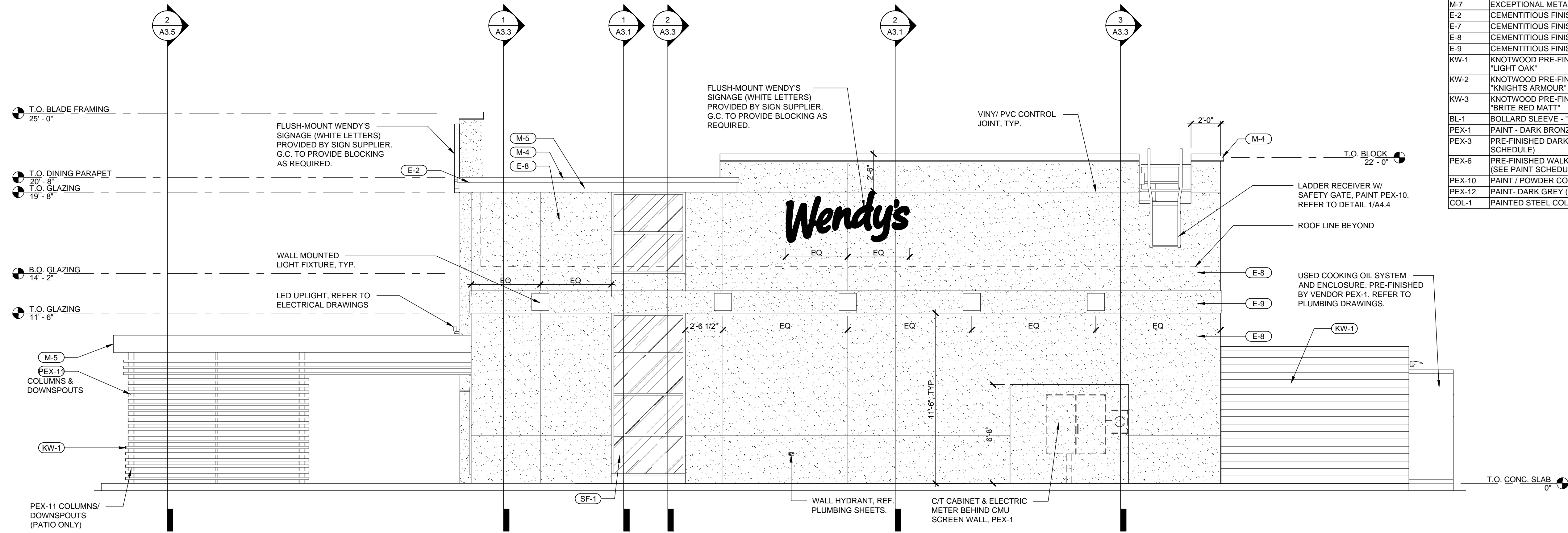
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AA-0003276
 HARTLEY + PURDY ARCHITECTURE, INC.
 ALL RIGHTS RESERVED 2019

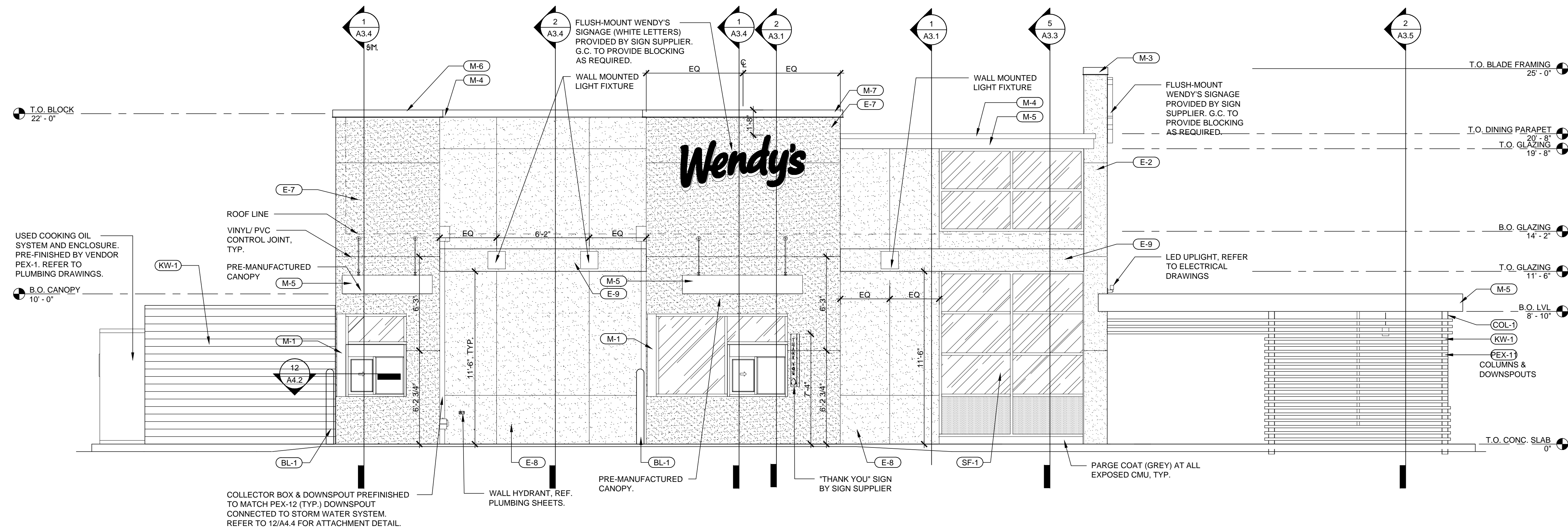


REAR DRIVE-THRU ELEVATION 3
 1/4" = 1'-0"

FRONT ELEVATION 1
 1/4" = 1'-0"



RIGHT SIDE ELEVATION 2
1/4" = 1'-0"



LEFT SIDE ELEVATION 1
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

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 BASE VERSION: 2018
 UPGRADE CLASSIFICATION: NEW BUILD
 PROJECT YEAR: 2019
 FURNITURE PACKAGE: 2018
 DRAWING RELEASE: FALL 2018

Hartley + Purdy Architecture, Inc.
 1711 North Himes Avenue, Tampa, Florida, 33607, Ph: 813.953.4005 Fax: 813.953.4350 Web Site: www.hartleypurdy.com

PROJECT TYPE: NEW
 SMART 30-2.0



REV.	DATE	DESCRIPTION

ISSUE DATE: 10.04.19
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 DRAWN BY: MM
 CHECKED BY: MM

SEAL

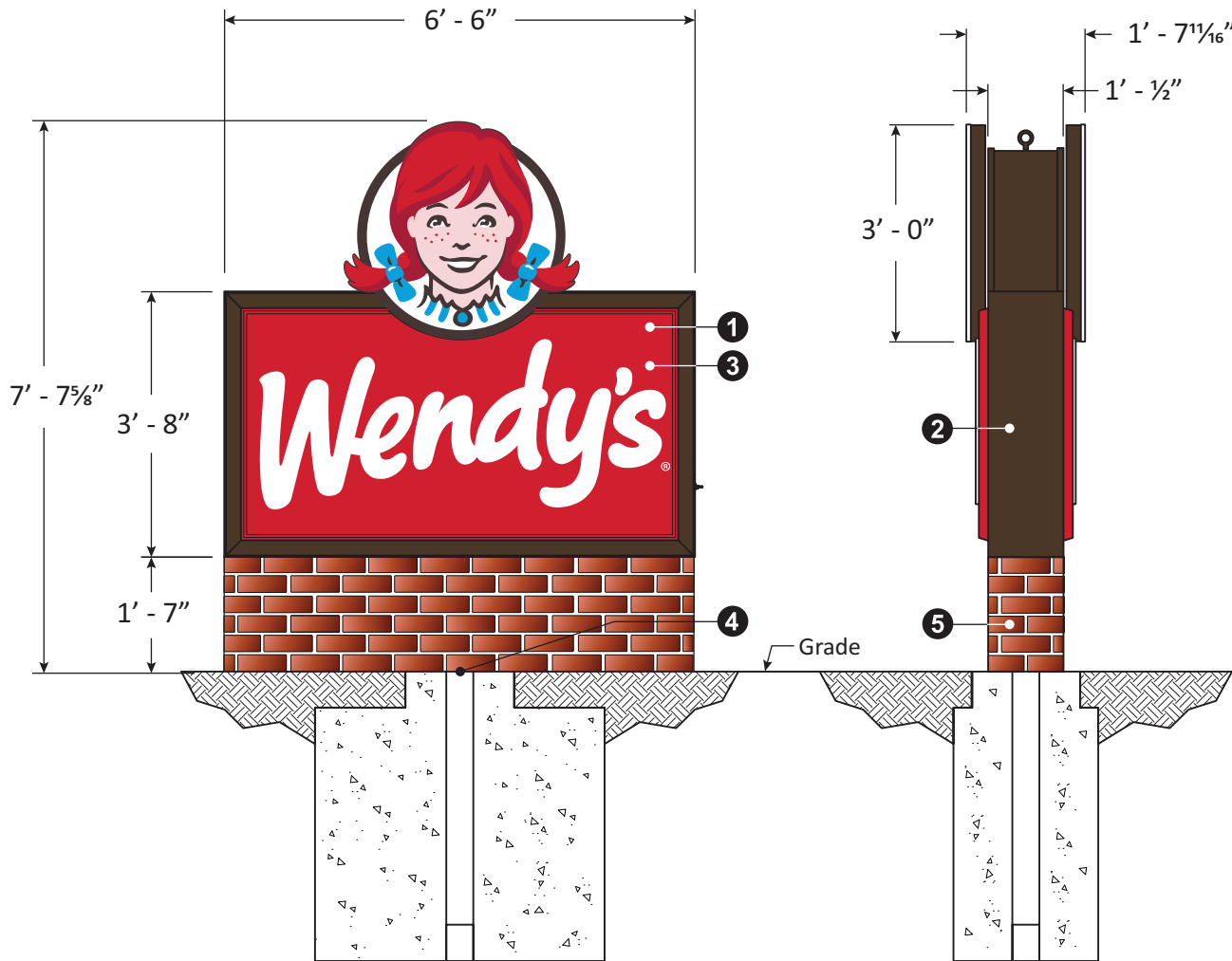
MICHAEL MUROFF
 AR 92344

SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NUMBER

A2.2

AA-0003276
 HARTLEY + PURDY ARCHITECTURE, INC.
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Foundation specifications are site specific
and subject to local soil and code requirements.

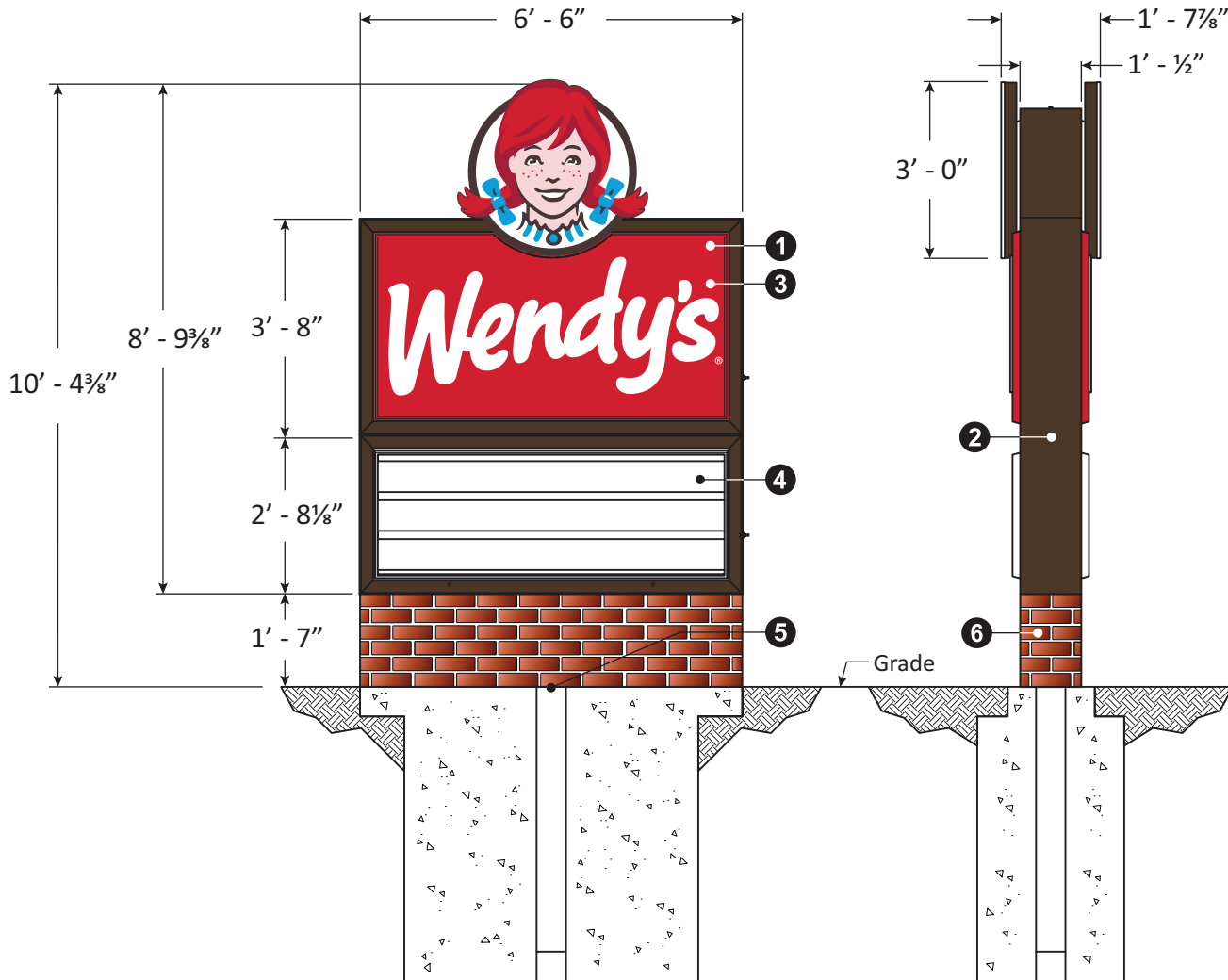
MATERIALS & SPECS

Actual: 29.56 ft² | Nearest Rectangle: 40.29 ft²

- ❶ Illumination - CW/HO lamps, cameo illuminated with white LEDs*
- ❷ Cabinet - 12½" deep extruded aluminum with 2½" aluminum retainers
- ❸ Face - (2) 1¾" deep thermoformed .177" acrylic with ½" deep embossed copy
- ❹ 3½" Schedule 40 sign pole stubbed out of sign 18" and shimmed to fit ground pole at 5' - ¼" long
- ❺ Masonry base for reference only. Actual design and specifications by others

- PMS 186c - hair, freckles
- PMS 201c - hair, outline
- PMS 698c - face, neck
- PMS 299c - bow, shirt, brooch
- PMS 439c - outline
- Dark Bronze ALC #313 - pole, pole cover
- White

*Total electrical load: 4.61 amps.
Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)



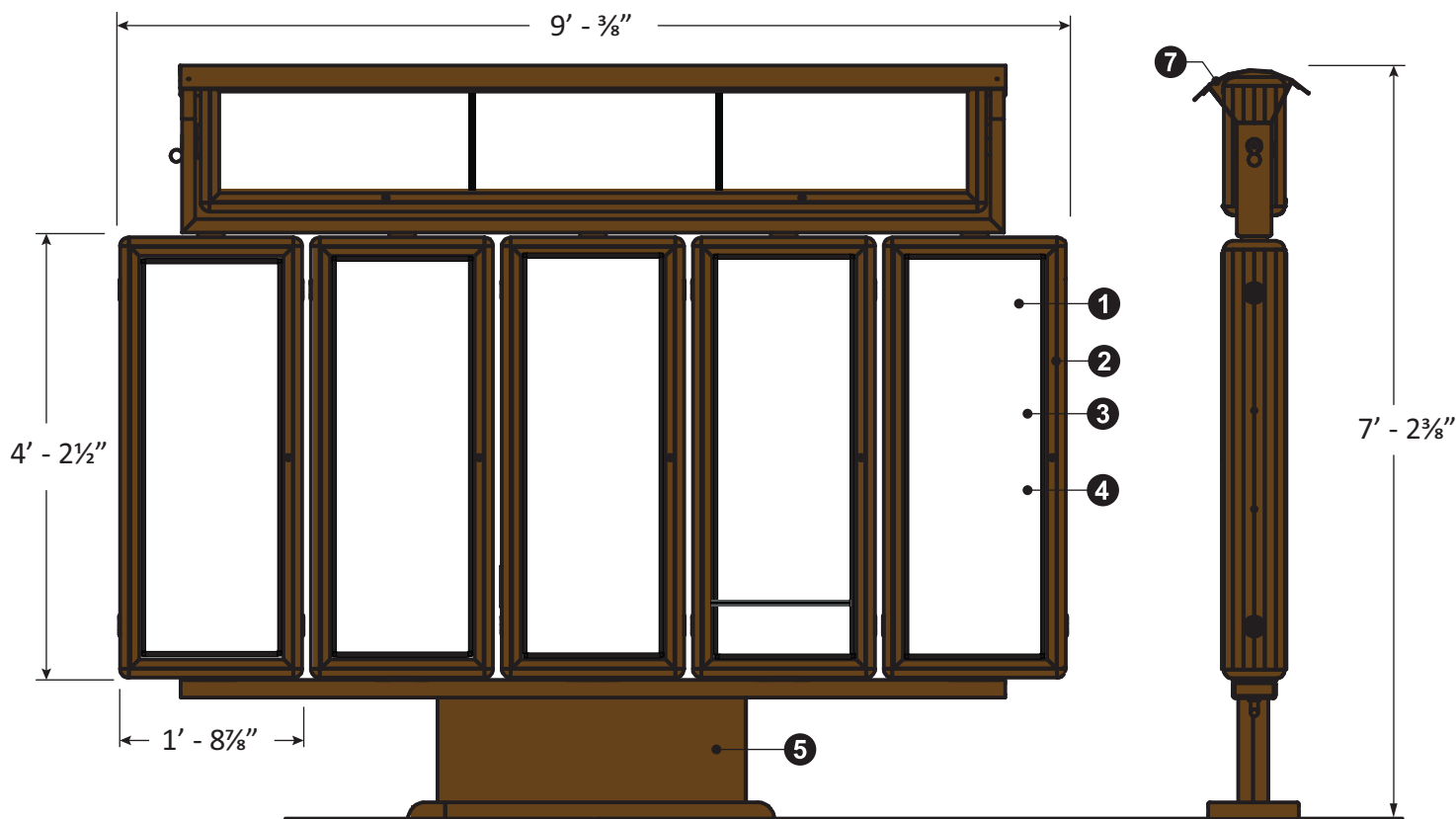
Foundation specifications are site specific and subject to local soil and code requirements.

MATERIALS & SPECS

Actual: 47 ft² | Nearest Rectangle: 56.47 ft²

- 1 Illumination - CW/HO lamps, cameo illuminated with white LEDs*
 - 2 Cabinet - 12 1/2" deep extruded aluminum with 2 1/2" aluminum retainers
 - 3 Face - (2) 1 3/4" deep thermoformed .177" acrylic with 1/2" deep embossed copy
 - 4 Readerboard (also can be substituted with a featureboard) - tracked for 3 lines of 6" characters with a protective locking cover door
 - 5 4" Schedule 40 sign pole stubbed out of sign 18" and shimmed to fit ground pole at 5' - 1" long
 - 6 Masonry base for reference only. Actual design and specifications by others
- PMS 186c - hair, freckles
 - PMS 201c - hair, outline
 - PMS 698c - face, neck
 - PMS 299c - bow, shirt, brooch
 - PMS 439c - outline
 - Dark Bronze ALC #313 - pole, pole cover
 - White

*Total electrical load: 5.2 amps.
Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)



Foundation specifications are site specific and subject to local soil and code requirements.

Optional removable metal blackout liner available if breakfast is not being served. Will not warp or fade. NSS#: 90012164

Actual: 55.88 ft²

MATERIALS & SPECS

- 1 Illumination - T12 lamps* - one ballast per cabinet
 - 2 Cabinet - extruded aluminum construction
 - 3 Cover doors - locking side hinged doors and scratch/mar resistant faces
 - 4 Standard RM5200 includes magnetic frames and carriages to match current corporate layout. Graphics provided by others. Strips/Price kit additional charge. Blackout liners are optional, NSS#: 90012164
 - 5 Formed ABS pole cover
 - 6 Rotating cabinets for dayparting (new wave system eliminates pulling pins)
 - 7 NSS exclusive protective rain guard
- Soft Metallic Brown - cabinets, base

*Anchor bolt kit sold separately, NSS#: 90002151
*Total electrical load: 6.72 amps.
Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)



CITY OF WINTER SPRINGS

1126 East State Road 434
Winter Springs, FL 32708
Phone: 407-327-1800 Fax: 407-327-4784
www.winterspringsfl.org

APPLICATION FOR AESTHETIC REVIEW

APPLICANT: Vandercrake, James (agent)

Last	First	Middle
Infinity Engineering Group, LLC 1208 E. Kennedy Blvd., Suite 230		
Tampa	FL	33602
City	State	Zip Code

PHONE / CELL: (813)434-4770 (863)640-2615

EMAIL: james@iegroup.net

If Applicant does NOT own the property:

PROPERTY OWNER: JDBS Winter Springs, LLC

Last	First	Middle
14608 N Dale Mabry Hwy.		
Tampa	FL	33618
City	State	Zip Code

PHONE / CELL: (813) 760-2621

EMAIL: bschultz@oceanbleugroup.com

This request is for the property described below:

PROJECT NAME: Wendy's No. 12660

LOCATION OR ADDRESS: Proposed Lot 2, part of Lot 4 and a part of Tract C (sketch&description attached)

Winter Springs	FL	32708
City	State	Zip Code

DATE of Approval for FINAL ENGINEERING: _____

APPLICANTS are advised that if, they decide to appeal any decisions made at the meetings or hearings with respect to any matter considered at the meetings or hearings, they will need a record of the proceedings and, for such purposes, they will need to ensure that a verbatim record of the proceedings is made, at their cost, which includes the testimony and evidence upon which the appeal is to be based, per 286.0105, Florida Statutes.

STEP ONE – Submit the Notarized Application, Email to: customerservice@winterspringsfl.org or In Person to the Community Development Office at the City of Winter Springs. Pay the Application Fee with a Credit Card over the phone (a convenience fee may apply) or In Person if you pay by check.

APPLICATION FEES (see below) plus any ACTUAL COSTS incurred for the City’s REIMBURSEMENT for TECHNICAL and/or PROFESSIONAL SERVICES (including the City Attorney) which may be required in connection with this Application for Aesthetic Review (as documented based on accounting submitted to the City), due and payable prior to the City’s issuing of a building permit.

- MINOR (site LESS than 2 acres) \$ 300
- MAJOR (site GREATER than 2 acres) \$ 600
- MODIFICATION OF PREVIOUSLY APPROVED AESTHETIC REVIEW \$ 300

TOTAL DUE \$ _____

STEP TWO – The staff will notify you when the Application meets approval. Next, submit the following items into ePlans Projectdox Plan Review System, see www.winterspringsfl.org for more details on ePlans ProjectDox submittals. (Sec 9-605):

- NOTARIZED AUTHORIZATION of the Applicant
- SITE PLAN;
- BUILDING ELEVATIONS (B&W) illustrating all sides of structures;
- COLOR RENDERING illustrating street view with landscaping at time of planting;
- ILLUSTRATIONS of all WALLS, FENCES, AND OTHER ACCESSORY STRUCTURES and indication of their height and the materials proposed for their construction;
- SIGNAGE ELEVATIONS of proposed exterior permanent signs, outdoor advertising or other constructed elements other than habitable space, if any;
- IDENTIFICATION of MATERIALS, TEXTURES, AND COLORS (include paint chips) to be used on all buildings, accessory structures, exterior signs, and other constructed elements;
- OTHER architectural and engineering data as may be requested to clarify the application.

STEP THREE - The following items are to be delivered to the Community Development Office

(MAIL, UPS, FEDEX) A PAPER COPY OF ALL DRAWINGS:

Must be available for Public Inspection at the Community Development Office:

One (1) set of 11x17 copies, PLUS One (1) pdf electronic copy

DURATION OF APPROVAL: Approvals for Aesthetic Review shall expire eighteen (18) months from the date the City Commission renders its approval at a public meeting if the Applicant fails to obtain a building permit during that time. Reasonable extensions may be granted by the Commission upon good cause by the Applicant, provided substantial changes have not occurred in the surrounding area that would make the prior approval inconsistent with the criteria set forth in Section 9-603.

INFORMATION FOR THE APPLICANT:

CONDUCT OF THE PUBLIC HEARING (CODE OF ORDINANCES, SECTION 9-603. (C)):

During the Public Hearing, the APPLICANT may be present in person or by counsel, and the APPLICANT has the right to present evidence in support of the application and cross-examine adverse witnesses whose testimony is offered at the hearing.

The following CRITERIA will be considered by the City Commission:

- (1) The PLANS AND SPECIFICATIONS of the proposed project indicate that the setting, landscaping, proportions, materials, colors, texture, scale, unity, balance, rhythm, contrast, and simplicity are coordinated in a harmonious manner relevant to the particular proposal, surrounding area and cultural character of the community.
- (2) The PLANS for the proposed project are in harmony with any future development which has been formally approved by the City within the surrounding area.
- (3) The PLANS for the proposed project are not excessively similar or dissimilar to any other building, structure or sign which is either fully constructed, permitted but not fully constructed, or included on the same permit application, and facing upon the same or intersecting street within five hundred (500) feet of the proposed site, with respect to one or more of the following features of exterior design and appearance:
 - a. Front or side elevations;
 - b. Size and arrangement of elevation facing the street, including reverse arrangement; or
 - c. Other significant features of design such as, but not limited to: materials, roof line, hardscape improvements, and height or design elements.
- (4) The PLANS for the proposed project are in harmony with, or significantly enhance, the established character of other buildings, structures or signs in the surrounding area with respect to architectural specifications and design features deemed significant based upon commonly accepted architectural principles of the local community.
- (5) The PROPOSED PROJECT is consistent and compatible with the intent and purpose of this article, the Comprehensive Plan for Winter Springs, design criteria adopted by the City (e.g. Town Center guidelines, SR 434 design specifications) and other applicable federal, state or local laws.
- (6) The PROPOSED PROJECT has incorporated significant architectural enhancements such as concrete masonry units with stucco, marble, termite-resistant wood, wrought iron, brick, columns and piers, porches, arches, fountains, planting areas, display windows, and other distinctive design detailing and promoting the character of the community.

By submitting this application you hereby grant temporary right of entry for city officials to enter upon the subject property for purposes of evaluating this application.

FOR USE WHEN APPLICANT IS OWNER OF THE SUBJECT REAL PROPERTY:

This is to certify that I am the Owner in fee simple of subject lands described within this Appeal of an Administrative Decision for Board of Adjustment consideration:

Signature of Owner

Sworn to and subscribed before me this

_____ day of _____ 20____.

Notary Public

My Commission expires:

Personally Known

Produced Identification:

(Type) _____

Did take an Oath

Did Not take an Oath

FOR USE WHEN APPLICANT IS NOT OWNER OF THE SUBJECT REAL PROPERTY:

I, JOSEPH Di GERLANDO, MGR do hereby, with my notarized signature, allow
Owner
JAMES VANDERCRAKE - INFINITY ENGINEERING to represent me in this Appeal of an
Representative
Administrative Decision related to my property.

The property is identified as: Tax Parcel Number(s) _____

Located at: Proposed Lot 2, Part of Lot 4, Tract C

And as further identified on the Metes and Bounds description provided with this Application.

Signature of Owner(s)

Signature of Owner(s)

Sworn to and subscribed before me this

7 day of MAY 20____.

Notary Public

My Commission expires: 1/17/2021

Personally Known

Produced Identification:

(Type) _____

Did take an Oath

Did Not take an Oath



JOSHUA C HORROCKS
MY COMMISSION # GG 055965
EXPIRES: January 17, 2021
Bonded Thru Budget Notary Services

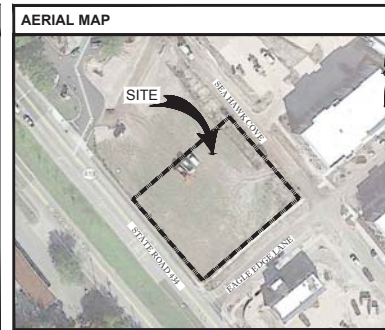
FINAL ENGINEERING PLANS FOR:



WENDY'S STORE NO. 12660

1218 EAST STATE ROAD 434
WINTER SPRINGS, FL 32708

PROJECT TEAM	
PROPERTY OWNER: JDS'S WINTER SPRINGS LLC 10931 N DALE MABRY HIGHWAY TAMPA, FLORIDA 33618-4112 PH: (813) 790-2921 EMAIL: BSCHULTZ@OCEANBLEUGROUP.COM	CIVIL ENGINEER: INFINITY ENGINEERING GROUP, LLC 1208 EAST KENNEDY BOULEVARD SUITE 230 TAMPA, FLORIDA 33602 PH: (813) 434-4770 CONTACT: NISIT SAPPARKHAO
SURVEYORS: ACCURIGHT SURVEYS OF ORLANDO INC. 2012 E ROBINSON STREET ORLANDO, FLORIDA 32803 PH: (407) 994-0314 EMAIL: ACCU@ACCURIGHTSURVEYS.NET	PROPERTY DEVELOPER: JAE RESTAURANT GROUP LLC 1100 PARK CENTRAL BOULEVARD #3300 POMPANO BEACH, FLORIDA 33064 PH: (561) 997-4000 EXT. 131 EMAIL: SLUGO@JAERESTGROUP.COM
ARCHITECT: HARTLEY + PURDY ARCHITECTURE, INC. 1711 N. HIMES AVE. TAMPA, FL 33607 PH: (813) 353-0035 CONTACT: MICHAEL MUROFF	



PARCEL ID: 06-21-31-507-0000-0020
SECTION: 6, TOWNSHIP: 21 S, RANGE: 31 E
SEMINOLE COUNTY, FLORIDA

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C500.01	COVER SHEET
C01.01	CIVIL SPECIFICATIONS
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C03.01	GRADING PLAN
C04.01	UTILITY PLAN
C05.01	EROSION & SEDIMENT CONTROL DETAILS
C06.01	SWPPP GENERAL REQUIREMENTS
C12.01	DETAILS
C12.02	DETAILS
C12.03	DETAILS
LP-01	LANDSCAPE PLAN
LP-02	LANDSCAPE DETAILS
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION DETAILS
PH01.01	PHOTOMETRIC PLAN
1 OF 1	BOUNDARY AND TOPOGRAPHY SURVEY

LEGAL DESCRIPTION
LOT 2, W/STC OCEAN BLEU, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 84, PAGES 37-38 . PUBLIC RECORDS OF CITY OF WINTER SPRINGS, SEMINOLE COUNTY, FLORIDA

NOTE
ANY VARIATION FROM WINTER SPRINGS CITY CODE MINIMUM STANDARDS REPRESENTED ON THIS PLAN THAT HAVE NOT BEEN EXPRESSLY APPROVED BY THE CITY COMMISSION ARE INVALID.



INFINITY ENGINEERING GROUP, LLC

1208 East Kennedy Boulevard
Suite 230
Tampa, Florida 33602
[p] 813.434.4770
[f] 813.445.4211
www.ieggroup.net
FL Cert. of Auth. No. 27889

IEG JOB NO. 135-84.00



Digitally signed by Nisit Sapparkhao
DN: c=US, cn=Nisit Sapparkhao,
email=nisit@ieggroup.net
Date: 2020.01.03 11:48:19 -05'00'



Know what's below.
Call before you dig.

GENERAL NOTE

- 1. ALL CONSTRUCTION SHALL BE EXECUTED AS SHOWN ON THESE PLANS. ANY REVISIONS AND/OR DEVIATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD AND MAY RESULT IN ADDITIONAL PERMITTING EFFORTS THROUGHOUT THE RELATED PERMITTING ACTIVITY. THE CONTRACTOR SHALL ACKNOWLEDGE THAT REVISIONS AND/OR DEVIATIONS FROM THE PLANS WILL BE CONSIDERED AS CHANGES AND POSSIBLY AFFECT SCHEDULING OF WORK.

REGULATORY STANDARDS AND REQUIREMENTS

- 1. COMPLY WITH HAILING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 2. COMPLY WITH ANSII A10.6 "SAFETY REQUIREMENTS FOR CONSTRUCTION AND DEMOLITION"
- 3. COMPLY WITH NFPA 241 "SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS"

DEMOLITION AND CLEARING

- 1. DEMOLITION AND CLEARING OPERATIONS SHALL CONFORM TO APPLICABLE REGULATIONS RELATING TO ENVIRONMENTAL REQUIREMENTS OF DEBRIS, BURNING OF DEBRIS ON SITE, AND USE OF HERBICIDES.
- 2. DEMOLITION WASTE SHALL BE DISPOSED OF IN A LEGAL MANNER. REMOVED DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF WASTE IN AN EPA APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. DO NOT BURY OR BURIED DEMOLITION WASTE ON SITE.

- 7. PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS, THE CONTRACTOR SHALL REVIEW PROJECT DRAWINGS OF EXISTING BUILDING AND EXISTING SITE IMPROVEMENTS.
- 8. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND SALVAGED. TAKE DIGITAL PHOTOGRAPHS ON VIDEO OF PROJECT SITE AND SURROUNDING PROPERTIES, INCLUDING EXISTING ITEMS TO REMAIN DURING CONSTRUCTION OPERATIONS. RECORD CONDITIONS THAT MIGHT BE DISCONTINUED AS DAMAGE CAUSED BY SALVAGE OPERATIONS.

- 9. COORDINATE UTILITY DEMOLITION AND ABANDONMENT WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION.
- 10. IN THE EVENT BUILDINGS IMMEDIATELY ADJACENT TO THE DEMOLITION AREA WILL BE OCCUPIED, CONDUIT SITE DEMOLITION SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED. MAINTAIN ACCESS TO AND FROM EXISTING WALKWAYS, EXITS, AND OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT BUILDINGS AND/OR STRUCTURES.

EROSION AND SEDIMENTATION CONTROL

- 1. PRIOR TO COMMENCEMENT OF ANY CLEARING AND EXCAVATION WITHIN A WORK AREA, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND IN WORKING ORDER.
- 2. PERFORM WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE AND FEDERAL, NATIONAL, POLYMER/TEMPERATURE DISCHARGE ELIMINATION SYSTEM (PPDES) PERMIT.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND SEDIMENT CONTROL FEATURES TO PREVENT AND CONTROL SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION AREAS AND ENTERING EXISTING STORMWATER FACILITIES AND SURFACE WATERS. ADDITIONAL MEASURES BEYOND THOSE SHOWN WITHIN THESE PLANS MAY BE NECESSARY DURING CONSTRUCTION, INCLUDING TEMPORARY VEGETATIVE MEASURES AND INSTALLATION OF OTHER SILT TRAPPING MEASURES.

EARTHWORK

- 1. IN THE EVENT OF ANY UNFORESEEN CONDITIONS THAT ARE ENCOUNTERED AND NOT COVERED BY THESE NOTES DURING GRADING OPERATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE PROJECT AREA AND RELATED OFF-SITE WORK SO AS TO ESTABLISH THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SPECIFIED WITHIN THESE PLANS.
- 3. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION. ALL SHORING AND ASSOCIATED TEMPORARY STRUCTURES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND INSTALLED PURSUANT TO OSHA REQUIREMENTS.

TREE PROTECTION AND TRIMMING

- 1. INSTALL TEMPORARY FENCING AROUND TREE PROTECTION ZONES TO PROTECT TREES AND VEGETATION DESIGNATED TO REMAIN FROM CONSTRUCTION DAMAGE. MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES, AND REMOVE IT IMMEDIATELY UPON COMPLETION OF WORK.
- 2. KEEP TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- 3. DO NOT START CONSTRUCTION MATERIALS, OR EXCAVATED MATERIAL IN TREE PROTECTION ZONE, OR PERMIT VEHICLES OR FOOT TRAFFIC WITHIN TREE PROTECTION ZONE, OR PERMIT VEHICLES WITHIN TREE PROTECTION ZONE.

- 6. WHERE UTILITY TRENCHES ARE UNAVOIDABLE WITHIN TREE PROTECTION ZONES, TUNNEL UNDER OR AROUND ROOTS BY DRILLING, AUGER BORING, PIPE JACKING, OR DIGGING BY HAND. DO NOT CUT MATERIAL ROOTS OR TAPROOTS.
- 7. PROMPTLY REPAIR TREES DAMAGED BY CONSTRUCTION OPERATIONS WITHIN 24 HOURS. TRIM DAMAGED TRUNKS, LIMBS, AND ROOTS ACCORDING TO ARBORIST'S WRITTEN INSTRUCTIONS.
- 8. TREE PRUNING: PRUNE TREES ACCORDING TO ANSI A300 PART 1, TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES (PRUNING).

EROSION AND SEDIMENTATION CONTROL

- 1. PRIOR TO COMMENCEMENT OF ANY CLEARING AND EXCAVATION WITHIN A WORK AREA, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND IN WORKING ORDER.
- 2. PERFORM WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE AND FEDERAL, NATIONAL, POLYMER/TEMPERATURE DISCHARGE ELIMINATION SYSTEM (PPDES) PERMIT.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND SEDIMENT CONTROL FEATURES TO PREVENT AND CONTROL SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION AREAS AND ENTERING EXISTING STORMWATER FACILITIES AND SURFACE WATERS. ADDITIONAL MEASURES BEYOND THOSE SHOWN WITHIN THESE PLANS MAY BE NECESSARY DURING CONSTRUCTION, INCLUDING TEMPORARY VEGETATIVE MEASURES AND INSTALLATION OF OTHER SILT TRAPPING MEASURES.

EARTHWORK

- 1. IN THE EVENT OF ANY UNFORESEEN CONDITIONS THAT ARE ENCOUNTERED AND NOT COVERED BY THESE NOTES DURING GRADING OPERATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE PROJECT AREA AND RELATED OFF-SITE WORK SO AS TO ESTABLISH THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SPECIFIED WITHIN THESE PLANS.
- 3. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION. ALL SHORING AND ASSOCIATED TEMPORARY STRUCTURES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL AND INSTALLED PURSUANT TO OSHA REQUIREMENTS.

TREE PROTECTION AND TRIMMING

- 1. INSTALL TEMPORARY FENCING AROUND TREE PROTECTION ZONES TO PROTECT TREES AND VEGETATION DESIGNATED TO REMAIN FROM CONSTRUCTION DAMAGE. MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES, AND REMOVE IT IMMEDIATELY UPON COMPLETION OF WORK.
- 2. KEEP TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- 3. DO NOT START CONSTRUCTION MATERIALS, OR EXCAVATED MATERIAL IN TREE PROTECTION ZONE, OR PERMIT VEHICLES OR FOOT TRAFFIC WITHIN TREE PROTECTION ZONE, OR PERMIT VEHICLES WITHIN TREE PROTECTION ZONE.

GRADING

- 1. GENERAL, UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTOR REQUIREMENTS AND GRADE TO BE MAINTAINED AS SHOWN ON DRAWINGS. MAINTAIN ELEVATIONS INDICATED IN PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND PATCH HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
- 2. SITE GRADING: SLOPE GRADES TO DRAIN WATER FROM BUILDINGS AND TO THE FOLLOWING TOLERANCES: FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE PREVIOUS TOLERANCES. UNPAVED AREAS: PLUS OR MINUS ONE (1) INCH. WALKS, PAVES OR MINUS ONE (1) INCH. PAVEMENTS: PLUS OR MINUS ONE-HALF (1/2) INCH. GRADING INSIDE BUILDING LINES: FINISH SUBGRADE TO A TOLERANCE OF ONE-HALF (1/2) INCH HIGH; OTHER TESTED WITH A 10-FOOT STRAIGHTEDGE.

FIELD QUALITY CONTROL

- 1. THE TESTING AGENCY WILL INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. CONTRACTOR SHALL PROCEED WITH SUBSEQUENT WORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS.
- 2. FOOTING BACKFILL: AT FOOTING SUBGRADES, AT LEAST ONE TEST OF EACH SOIL STRATUM WILL BE PERFORMED TO VERIFY DESIGN BEARING CAPACITIES. FIELD INVESTIGATIONS AND APPROVAL OF OTHER FOUNDATION DISTURBANCES MAY BE BASED ON A VISUAL COMPARISON OF SUBGRADE WITH TESTED SUBGRADE WHEN APPROVED BY ENGINEER.
- 3. THE TESTING AGENCY WILL FOLLOW UP ON RESULTS OF SOILS IN PLACE ACCORDING TO ASTM D 1586, ASTM D 1586, ASTM D 2922, AND ASTM D 2927, AS APPLICABLE. TESTS WILL BE PERFORMED AT THE FOLLOWING LOCATIONS AND FREQUENCIES: PAVED AND UNPAVED SLABS: AT SUBGRADE AT EACH COMPACTED LAYER AND BACKFILL LAYER, AT LEAST 1 TEST FOR EVERY 10,000 SF, OR LESS OF PAVED AREA OR BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS. FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 3 TESTS.

GENERAL UTILITY NOTES

- 1. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR VERIFICATION OF UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. CALL A LOCAL ONE CALL SYSTEM 24 HOURS PRIOR TO ANY EXCAVATION.
- 2. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- 3. THE CONTRACTOR SHALL COORDINATE WORK EFFORTS WITH THE OWNER TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF THE FACILITIES.
- 4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS AND BENCHMARKS FROM DISTURBANCE. SURVEY MONUMENTS DISTURBED BY CONSTRUCTION ARE TO BE REPAIRED AND ADJUSTED BY A LAND SURVEYOR REGISTERED IN THE STATE FOR WHICH THE PROJECT IS LOCATED.

BACKFILL

- 1. THE CONTRACTOR SHALL PLACE AND COMPACT BACKFILL IN EXCAVATIONS PROMPTLY, BUT NOT BEFORE COMPLETING THE FOLLOWING: a. CONSTRUCTION BELOW FINISH GRADE INCLUDING, WHERE APPLICABLE, SUBGRADE, DAMPROOFING, WATERPROOFING, AND PERMEATER INSTALLATION. b. SURVEYING LOCATIONS OF UNDERGROUND UTILITIES FOR RECORD DRAWINGS. c. TESTING AND INSPECTING UNDERGROUND UTILITIES. d. REMOVING TRASH AND DEBRIS. e. REMOVING TEMPORARY SHORING AND BRACING, AND SHEETING. f. INCLUDING PERMANENT OR TEMPORARY HORIZONTAL BRACING.
- 2. CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 6 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY FOOT OR EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY POWER OPERATED TAMPER.
- 3. COMPACT SOIL BACKFILLS AND FILLS: a. CONTRACTOR SHALL PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. b. CONTRACT SOIL MATERIALS TO NOT LESS THAN THE PLAN SPECIFIED PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 998 OR ASTM D 1557. (SEE CIVIL DETAILS FOR SUMMARY OF TRENCH BACKFILL AND BEDDING MATERIALS AND PLACEMENT SPECIFICATIONS).

STORM DRAINAGE

- 1. UNLESS OTHERWISE SHOWN ON PLANS, ALL PVC PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING: a. PVC SEWER PIPE AND FITTINGS: MDS 15-NCH AND SMALLER ASTM D 3034, SDR 35, WITH HELL-BEND, SPOT ENDS FOR GASKETED JOINTS USING ASTM F 4081 WITH REINFORCED SURFACE TOLERANCES. b. PVC SEWER PIPE AND FITTINGS: MDS 18-NCH AND LARGER: ASTM F 497, 1-1/4" WALL THICKNESS, WITH HELL-BEND AND SPOT ENDS FOR GASKETED JOINTS USING ASTM F 447, ELASTOMERIC SEALS. c. PIPE JOINTS SHALL BE WATER-TIGHT.
- 2. UNLESS OTHERWISE SHOWN ON THE PLANS, ALL REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING: a. ASTM C 76, WITH HELL-BEND, SPOT ENDS FOR GASKETS AND TONGUE ENDS AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS. b. TOP PIPES SHALL BE CLASS B, WALL B. c. WHEN LOCATED IN TRAFFIC AREAS WITH LESS THAN 2 FEET OF COVER, REP PIPE SHALL BE CLASS B, WALL B. d. WHEN LOCATED UNDER AIRCRAFT RAMPS OR RAILROAD OPERATIONS, REP PIPE SHALL BE CLASS V, WALL B WITH DRNG JOINTS. e. ALL JOINTS SHALL BE WATER-TIGHT. f. DELIVERED TO THE PROJECT. g. PIPE JOINTS SHALL BE WATER-TIGHT.

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AS-BUILT SURVEY

- 1. UPON COMPLETION OF THE WORK, THE SITE WORK SUB-CONTRACTOR SHALL RETURN THE SERVICES OF A PROFESSIONAL LAND SURVEYOR TO PERFORM AN "AS-BUILT" SURVEY. THE "AS-BUILT" SURVEY SHALL INCLUDE LOCATION AND ELEVATION DATA FOR ALL CONSTRUCTED IMPROVEMENTS, SPECIFIC INFORMATION INCLUDED IN THE SURVEY SHALL BE AS FOLLOWS: a. ALL PAVEMENT SURFACES INCLUDING CURBS, WALKS, RAMPS, PADS, ETC. b. ALL SANITARY SEWER. c. ALL STORM SEWER. d. ALL STORM DETENTION, RETENTION, AND WATER QUALITY POND GRADING. e. BUILDING FINISH FLOOR ELEVATION. f. BUILDING CORNER LOCATIONS. g. BUILDINGS, IF APPLICABLE. h. WATER, GAS, BURIED ELECTRIC AND BURIED TELEPHONE LINES. i. STRIPPING AND PAVEMENT MARKINGS. j. TREE LOCATIONS WITH SIZE AND SPECIES.

PUBLIC WORKS NOTES

- 1. ALL ROLL OFF CONSTRUCTION DUMPSTERS SHALL BE FURNISHED BY WASTE PRO. PER THE CITY'S SOLID WASTE FRANCHISE AGREEMENT.
- 2. NO CONSTRUCTION EQUIPMENT OPERATION BETWEEN 10 PM AND 7 AM, PER THE CITY NOISE ORDINANCE.
- 3. ALL SANITARY AND STORM PIPES SYSTEMS SHALL BE VIDEO INSPECTED PRIOR TO SITE ACCEPTANCE.
- 4. A COPY OF THE VIDEO AND REPORT ARE TO BE PROVIDED TO THE CITY FOR REVIEW.
- 5. NO ON-SITE BURNING IS PERMITTED WITHIN THE CITY OF WINTER SPRINGS.
- 6. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO ALL INSPECTIONS.
- 7. THIS PARCEL'S SHARE OF THE AIRBOR MITIGATION FEE WILL BE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.

Table with 10 columns: No., Description, Date. Includes project details for WENDY'S STORE NO. 12860.

INFINITY GROUP, LLC logo and contact information: 1208 East Kennedy Boulevard, Suite 230, Tampa, Florida 33602.

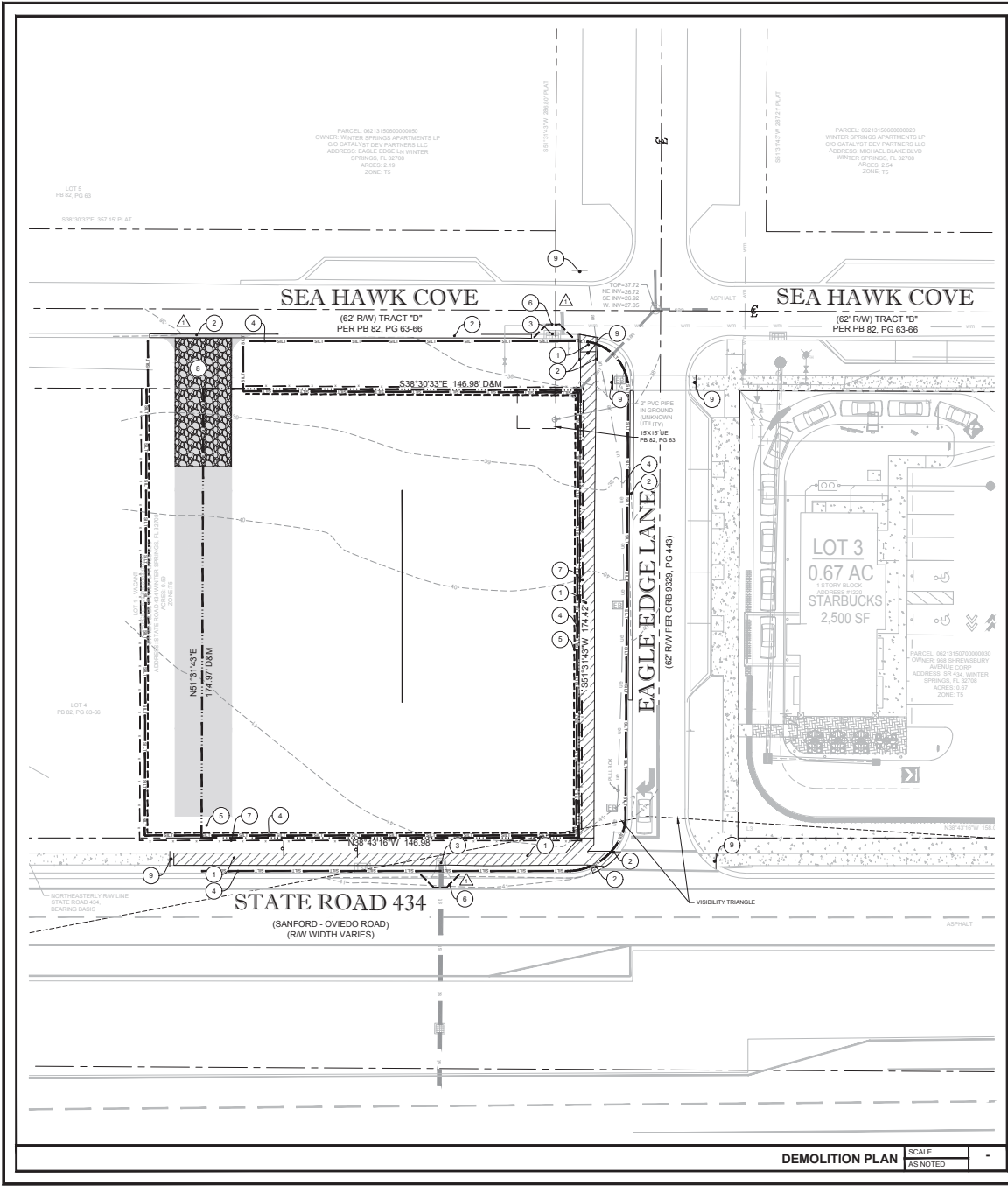
Wendy's logo and address: 1180 PARK CENTRAL BLVD SUITE 3000, POMPANO BEACH, FL 33064.

Professional Engineer Seal for NISIT SAPPARKHAO, P.E., License No. 46865.

WENDY'S STORE NO. 12860 CIVIL SPECIFICATIONS. Project Name and Address: WENDY'S STORE NO. 12860, 1218 EAST STATE ROAD 124, WINTER SPRINGS, FL 32789.

81 logo with text: know what's below. Call before you dig.

Project No: 158-04.00, Date: 08/28/19, Scale: AS NOTED, C00.01.

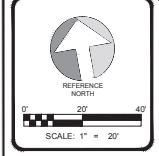


LEGEND:

---	PROPERTY LINE	---	EXISTING TO BE REMOVED
▨	EXISTING CONCRETE PAVEMENT TO REMAIN	---	EXISTING TO REMAIN
▨	EXISTING CONCRETE TO BE REMOVED	---	EXISTING STORM
▨	EXISTING ASPHALT PAVEMENT TO BE REMOVED	---	EXISTING SANITARY
⊗	EXISTING GRADE ELEVATION	---	EXISTING TELEPHONE
⊗	EXISTING TREE TO BE REMOVED	---	EXISTING UNDERGROUND ELECTRIC
		---	EXISTING OVERHEAD LINE
		---	EXISTING WATER
		---	EXISTING CONTOUR

- DEMOLITION NOTES:**
- CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS WITHIN LIMITS OF DEMOLITION SHOWN UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
 - ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
 - UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 10 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
 - TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
 - THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
 - THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION, SEE "EROSION & SEDIMENT CONTROL DETAILS" ON SHEET C5.01.
 - THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
 - ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED.
 - THE CONTRACTOR SHALL REFER TO FDOT INDEX 600 1-12, 602, 603, AND 605 FOR CONSTRUCTION OF STREETSIDE PARKING ON SEAHAWK COVE AND EAGLE EDGE LANE.

- KEYED NOTES:**
- | | |
|---|---|
| 1 | EXISTING CONCRETE SIDEWALK AND RAMPS TO BE SAWCUT AND REMOVED. |
| 2 | EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED. |
| 3 | EXISTING STORM DRAIN STRUCTURE TO REMAIN. |
| 4 | EROSION CONTROL / SILT FENCE. |
| 5 | LIMITS OF DEMOLITION. |
| 6 | CONTRACTOR TO PROVIDE INLET PROTECTION MEASURE TO PREVENT SEDIMENT FROM ENTERING INLET. |
| 7 | 8' FENCE WITH GREEN OR BLACK OPAQUE FABRIC. |
| 8 | CONSTRUCTION ENTRANCE |
| 9 | SIDEWALK CLOSED SIGN, PER FDOT. |



NO.	DESCRIPTION	DATE
1	Revised	08/28/19
2	Revised	08/28/19
3	Revised	08/28/19
4	Revised	08/28/19
5	Revised	08/28/19
6	Revised	08/28/19
7	Revised	08/28/19
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17	Revised	08/28/19
18	Revised	08/28/19
19	Revised	08/28/19
20	Revised	08/28/19

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Client Name and Address
Wendy's
1100 PARK CENTRAL BLVD S SUITE 3300, POMPANO BEACH, FL 33064

NISIT SAPPARKHAO, P.E.
FL REG. NO. 84695
Digitally signed by Nisit Sapparkhao DN: c=US, o=Nisit Sapparkhao, email=nisit@regup.net
Date: 2020.08.03 11:46:56 -05'00'

Project Name and Address
WENDY'S STORE NO. 12660
1218 EAST STATE ROAD 204
WINTER SPRINGS, FL 32788

Sheet Title
DEMOLITION PLAN

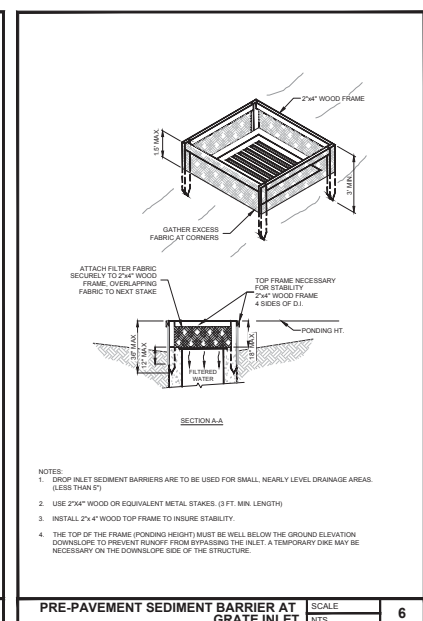
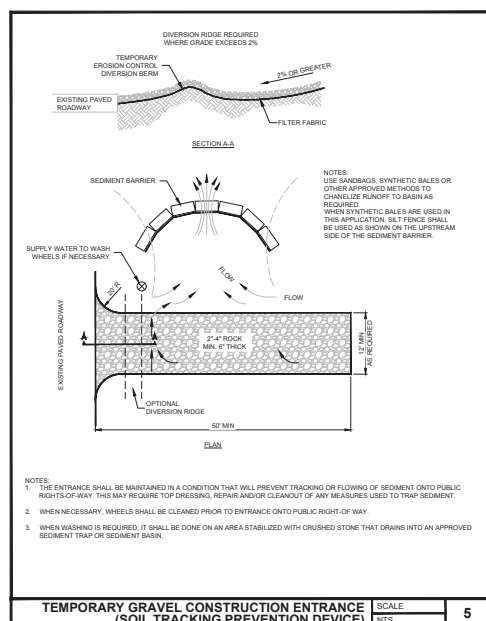
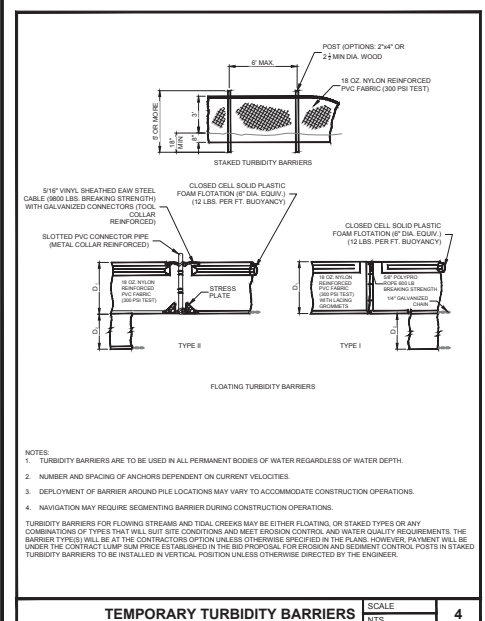
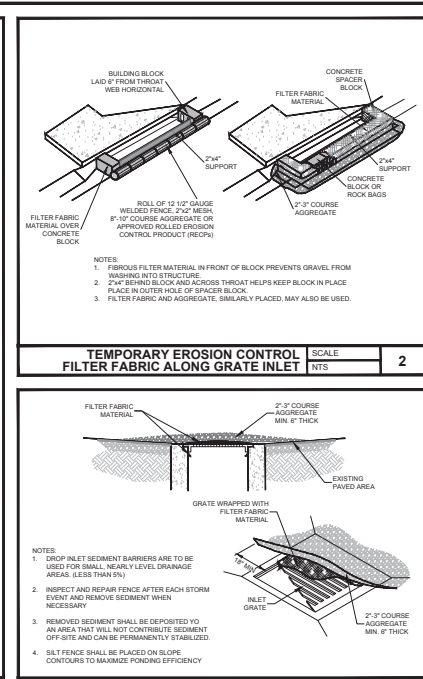
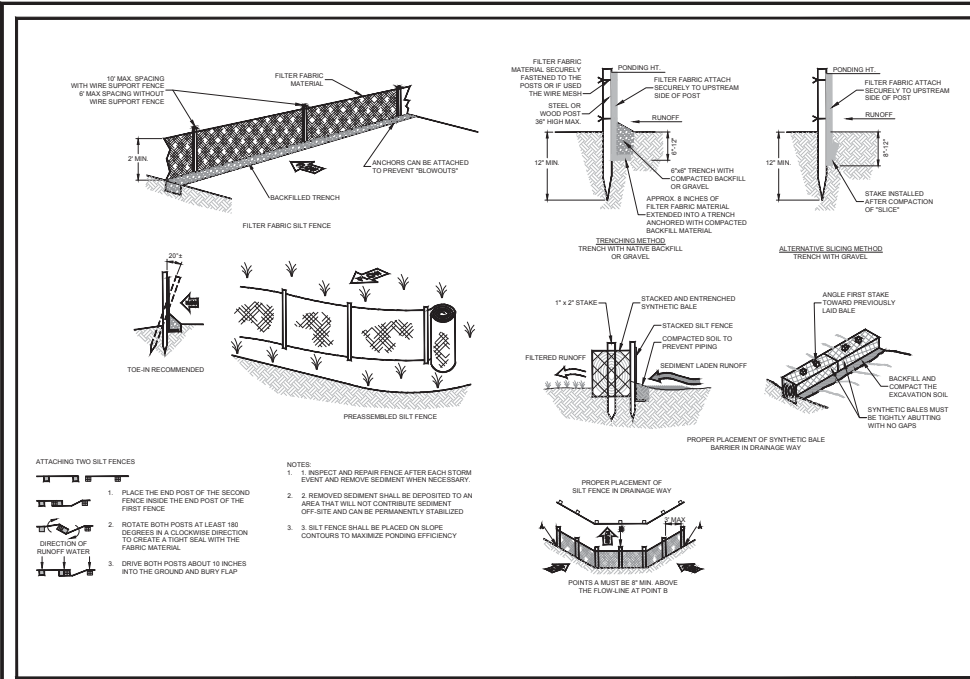
Project No.
135-84-00

Date
08/28/19

Scale
AS NOTED

Sheet
C01.01

DEMOLITION PLAN SCALE AS NOTED



EROSION AND SEDIMENT CONTROL NOTES

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
 - THE BITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
 - ADDITIONAL PROTECTION, ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINED SUE TO UNSEEN CONDITIONS OR ACCIDENTS.
 - CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
 - THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST MANAGEMENT PRACTICES (BMP) AND MOST CURRENT EROSION AND SEDIMENT CONTROL PRACTICES. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- PRE-CONSTRUCTION SITE PROTECTION:**
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
 - ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
 - DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHILE DEPOSITED AND BEFORE BEING DISPERSED. THE HEIGHT OF THE BARRIER OR INLET REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - ALL DISTURBED AREAS ARE TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, SYNTHETIC BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAGED SOLID SOIL.
- SITE PROTECTION:**
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED PROPERLY. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6 INCHES. BARRIERS IS STAKED, THE EXCAVATED SOIL OR GRAVEL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. USING WIRE BACKFILL FOR SUPPORT IS DISCOURAGED DUE TO DISPOSAL PROBLEMS.
 - WATER OR SLURRY USED TO CONTROL DUST SHALL BE RETAINED ON THE SITE AND NOT ALLOWED TO RUN DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
 - SPECIAL AREAS SHALL BE DESIGNATED AS VEHICLE AND EQUIPMENT WASHING AREAS AND SUCH AREAS SHALL NOT ALLOW RUNOFF TO FLOW DIRECTLY INTO WATERCOURSE OR STORMWATER CONVEYANCE SYSTEMS.
 - SILT FENCE BARRIERS ARE NOT TO BE USED WHERE CONCENTRATED FLOWS OF WATER ARE ANTICIPATED SUCH AS DRAINAGE DITCHES, AROUND INLETS OR ABOVE/BELOW WHERE CULVERTS DISCHARGE.
 - SYNTHETIC BALES, SANDBAGS OR OTHER APPROVED DEVICE FACED WITH FILTER FABRIC SHALL BE USED IN HIGH VOLUME AREAS TO DECREASE THE RUNOFF VELOCITY AND SHALL BE SECURELY ANCHORED.
 - ALL DEVICES INCLUDING SILT FENCE FILTER BARRIERS, SYNTHETIC BALES AND/OR SANDBAGS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BARRIERS, END ROPS AND UNDERCUTTING BENEATH BARRIERS.
 - ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- STORM DRAIN INLET PROTECTION:**
- 2 INCH, 3 INCH COARSE AGGREGATE SHALL BE PLACED OVER THE FILTER FABRIC. THE DEPTH OF STONE SHALL BE AT LEAST 6 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
 - IF STONE FILTERS BECOME CLOGGED WITH SEDIMENT SO THAT THEY NO LONGER ADEQUATELY PERFORM THEIR FUNCTION, THE STONES MUST BE RUALED AWAY FROM THE INLET, CLEANED AND REPLACED.
- POST-CONSTRUCTION SITE PROTECTION:**
- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER TEMPORARY BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDS. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
 - SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

INFINITY ENGINEERING GROUP, LLC
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 P.L. Cert. of Auth. No. 27889

Wendy's
 1180 PARK CENTRAL BLVD S SUITE 3300, POMPANO BEACH, FL 33064

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WENDY'S STORE NO. 12660
 1216 EAST STATE ROAD 254
 WATER SPRINGS, FL 32798

EROSION & SEDIMENT CONTROL DETAILS

Project Name and Address: WENDY'S STORE NO. 12660
 Project No: 135-84-00
 Date: 08/28/19
 Scale: AS NOTED

Sheet: C05.01

OWNER'S REQUIREMENTS		CONTRACTOR'S REQUIREMENTS				
SITE DESCRIPTION		GENERAL	STABILIZATION PRACTICES EROSION AND SEDIMENT CONTROLS	OTHER CONTROLS	HAZARDOUS PRODUCTS	MAINTENANCE/INSPECTION PROCEDURES
<p>PROJECT NAME AND LOCATION: WENDY'S STORE NO. 12860 1218 EAST STATE ROAD 434 WINTER SPRINGS, FL</p> <p>PROPERTY OWNER: JOBS WINTER SPRINGS LLC 10931 N DALE MABRY HIGHWAY TAMPA, FLORIDA 33614-4112</p> <p>SITE ADDRESS: 1218 EAST STATE ROAD 434 WINTER SPRINGS, FL</p> <p>DESCRIPTION: CONSTRUCT NEW BUILDING AND PARKING LOT. MODIFY EXISTING SMS AS REQUIRED TO ACCOMMODATE IMPROVEMENTS PER AUTHORITIES WITH JURISDICTION. SOIL DISTURBING ACTIVITIES WILL INCLUDE RE-GRADING, CONSTRUCTION OF FACILITY</p> <p>SOILS: SEE SOIL REPORT</p> <p>SITE MAPS: SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORMWATER DISCHARGE POINTS. SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION.</p> <p>NAME OF RECEIVING WATERS: EXISTING INLETS</p>		<p>THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS, DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR SHALL BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.</p> <p>SEQUENCE OF MAJOR ACTIVITIES</p> <p>THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:</p> <ol style="list-style-type: none"> INSTALL STABILIZED CONSTRUCTION ENTRANCE INSTALL SILT FENCES AND HAY BALES AS REQUIRED CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN CONSTRUCT SEDIMENTATION BASIN CONTINUE CLEARING AND GRUBBING STOCK PILE TOP SOIL IF REQUIRED PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE INSTALL STORM SEWER AND IRRIGATION COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING REMOVE ACCUMULATED SEDIMENT FROM BASINS WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED <p>TIMING OF CONTROLS/MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EXPOSED AREAS WILL BE REGRADDED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.</p>	<ol style="list-style-type: none"> HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ul style="list-style-type: none"> A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAIN BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PRODUCE ANCHOR BALES TO INSURE AGAINST WASHOUT. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ul style="list-style-type: none"> A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT/FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE APPLIED ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCRETE AFTER RELEASE. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW EXPOSED SOIL EXPOSED BY CLEARING AND GRUBBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASED SHALL NOT EXCEED TO ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS WHICH MAY CONTRIBUTE SEDIMENT TO THE INLET. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 1/2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH. TEMPORARY GRASSING: THE SEEDDED OR SEEDDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS INTENDED IF THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE SEEDDED WITH A MINIMUM OF 75 PERCENT GOOD GRASS COVER. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM PERSISTENT AND FAST-GROWING SPECIES. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED. 	<p>WASTE DISPOSAL</p> <p>WASTE MATERIALS ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPLOYED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.</p> <p>HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> <p>SANITARY WASTE</p> <p>ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE TOILETS AND HELD IN A CONTAINER. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR PORTABLE TOILETS AND SEPTIC SYSTEMS.</p> <p>OFFSITE VEHICLE TRACKING</p> <p>A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY BY A TRUCK WITH A DRY BRUSH. DIRT FROM TRUCKS FROM THE SITE, DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULN.</p>	<p>THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.</p> <p>* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.</p> <p>* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.</p> <p>* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.</p> <p>PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:</p> <p>PETROLEUM PRODUCTS</p> <p>ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVED REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS' RECOMMENDATIONS.</p> <p>FERTILIZERS</p> <p>FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.</p> <p>PANTS</p> <p>CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT BEING USED. EXCESS PART WILL NOT BE EXPOSED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.</p> <p>CONCRETE TRUCKS</p> <p>CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.</p> <p>SPILL CONTROL PRACTICES</p> <p>IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:</p> <p>MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTMANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (I.E. KITY LITTER OR EQUAL), SAND, SAWDUST, PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.</p> <p>ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. RECEIVING VEHICLES WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.</p> <p>SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.</p> <p>THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.</p>	<p>* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.</p> <p>* TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.</p> <p>* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THE REPORTS WILL BE MADE AND RETAINED AS PART OF THE WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.</p> <p>* THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.</p> <p>* PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE ACTIVITIES WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.</p> <p>NON-STORMWATER DISCHARGES</p> <p>IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:</p> <p>* WATER FROM WATER LINE FLUSHING</p> <p>* PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).</p> <p>* UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).</p> <p>ALL NON-STORMWATER DISCHARGE WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.</p>
<p>CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORMWATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p>		<p>CONTROLS</p> <p>IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY. TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE, THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p>	<p>STRUCTURAL PRACTICES</p> <ol style="list-style-type: none"> TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO RUNOFF THROUGH A SEDIMENT TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE: <ol style="list-style-type: none"> BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (1% - 6%) AND WHERE SHEET OR OVERLAND FLOWS (0.4 - 0.8 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNELS. SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY, SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL. SEDIMENT BASIN: SHALL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORMWATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AND PAVED CHANNELS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,000 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE STORED IN DISTURBED AREAS. THESE FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL TEMPORARY SEDIMENT TRAPS OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION. 	<p>CONCRETE <input type="checkbox"/> Perforations <input type="checkbox"/> Wood</p> <p>Asphalt <input type="checkbox"/> Petroleum Based Products <input type="checkbox"/> Dry Packing Blocks</p> <p>Tar <input type="checkbox"/> Cleaning Solvents <input type="checkbox"/> Roofing Materials</p> <p>Detergents <input type="checkbox"/> Paints <input type="checkbox"/> Metal Studs</p>	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND THAT AUTHORIZES THE STORM CONDITIONS OF THE FOREGENERIC PERMIT WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	
<p>TIMING OF CONTROLS/MEASURES</p> <p>REFER TO "CONTRACTORS RESPONSIBILITY" FOR THE TIMING OF CONTROLS/MEASURES.</p>		<p>SPILL PREVENTION</p> <p>MATERIAL MANAGEMENT PRACTICES</p> <p>THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.</p> <p>GOOD HOUSEKEEPING</p> <p>THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.</p> <p>* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.</p> <p>* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, WHERE POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.</p> <p>* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL.</p> <p>* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.</p> <p>* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.</p> <p>* MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.</p> <p>* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.</p>	<p>STRUCTURAL PRACTICES</p> <ol style="list-style-type: none"> TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO RUNOFF THROUGH A SEDIMENT TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE: <ol style="list-style-type: none"> BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (1% - 6%) AND WHERE SHEET OR OVERLAND FLOWS (0.4 - 0.8 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNELS. SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY, SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL. SEDIMENT BASIN: SHALL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORMWATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AND PAVED CHANNELS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,000 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE STORED IN DISTURBED AREAS. THESE FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL TEMPORARY SEDIMENT TRAPS OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION. 	<p>RESPECTABLE FORBIDDIES</p> <p>GENERAL CONTRACTOR</p> <p>SUB-CONTRACTOR</p> <p>SUB-CONTRACTOR</p> <p>SUB-CONTRACTOR</p> <p>SUB-CONTRACTOR</p>	<p>MAINTENANCE/INSPECTION PROCEDURES</p> <p>EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES</p> <p>THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.</p> <p>* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDATED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.</p> <p>* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT. THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.</p> <p>* TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.</p> <p>* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.</p> <p>* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT. TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.</p> <p>* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.</p>	
<p>OWNER'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY KNOWLEDGE OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.</p> <p>SIGNED: _____ OWNER / OPERATOR</p> <p>DATED: _____</p>		<p>CONTROLS</p> <p>IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY. TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE, THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p>	<p>STRUCTURAL PRACTICES</p> <ol style="list-style-type: none"> TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO RUNOFF THROUGH A SEDIMENT TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE: <ol style="list-style-type: none"> BLOCK & GRAVEL SEDIMENT FILTER: THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. GRAVEL SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS. DROP INLET SEDIMENT TRAP: THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (1% - 6%) AND WHERE SHEET OR OVERLAND FLOWS (0.4 - 0.8 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNELS. SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY, SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL. SEDIMENT BASIN: SHALL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORMWATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AND PAVED CHANNELS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,000 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE STORED IN DISTURBED AREAS. THESE FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL TEMPORARY SEDIMENT TRAPS OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION. 	<p>CONCRETE <input type="checkbox"/> Perforations <input type="checkbox"/> Wood</p> <p>Asphalt <input type="checkbox"/> Petroleum Based Products <input type="checkbox"/> Dry Packing Blocks</p> <p>Tar <input type="checkbox"/> Cleaning Solvents <input type="checkbox"/> Roofing Materials</p> <p>Detergents <input type="checkbox"/> Paints <input type="checkbox"/> Metal Studs</p>	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND THAT AUTHORIZES THE STORM CONDITIONS OF THE FOREGENERIC PERMIT WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	

DATE	08/28/19
BY	08/28/19
PROJECT NO.	12860
SCALE	AS NOTED

REVISION NO.	DATE	DESCRIPTION
1	08/28/19	ISSUED FOR PERMITS
2	08/28/19	ISSUED FOR PERMITS
3	08/28/19	ISSUED FOR PERMITS
4	08/28/19	ISSUED FOR PERMITS
5	08/28/19	ISSUED FOR PERMITS
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7	08/28/19	ISSUED FOR PERMITS
8	08/28/19	ISSUED FOR PERMITS
9	08/28/19	ISSUED FOR PERMITS
10	08/28/19	ISSUED FOR PERMITS

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Handy

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POINCIPE BEACH, FL 33064

NISS SAPPARAKHO, P.E.
FL REG. NO. 84005

Digitally signed by Nisit Sapparakho
DN: c=US, cn=Nisit Sapparakho, email=nisit@group.net
Date: 2020.03.13 16:00:00 -0500

WENDY'S STORE NO. 12860
1218 EAST STATE ROAD 434
WINTER SPRINGS, FL 32778

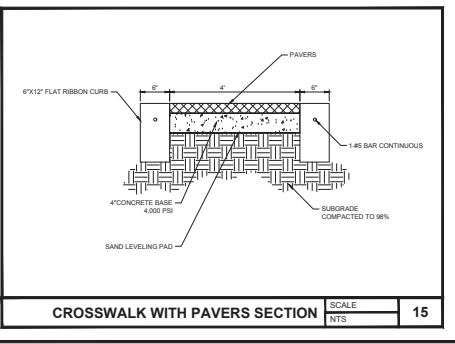
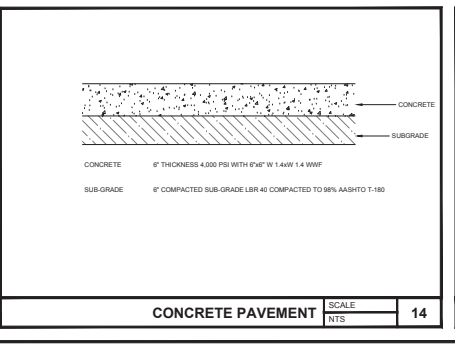
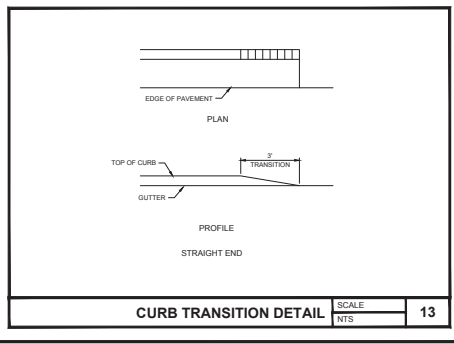
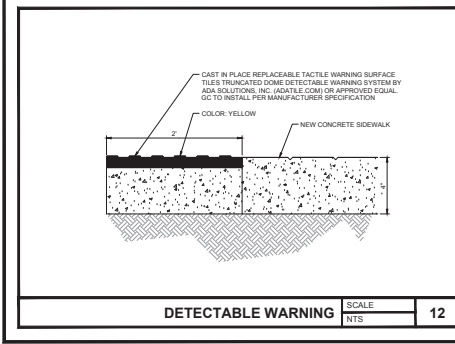
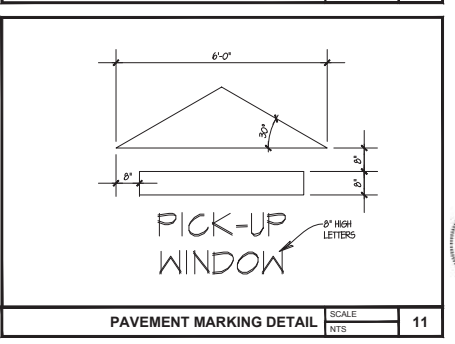
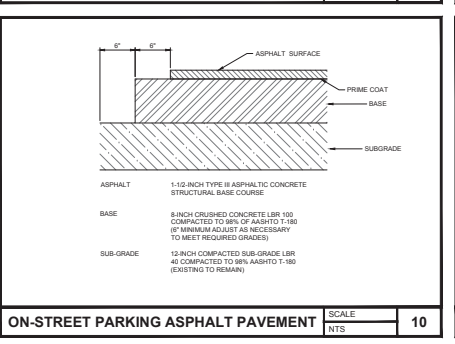
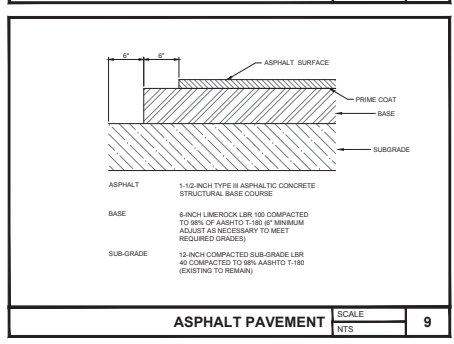
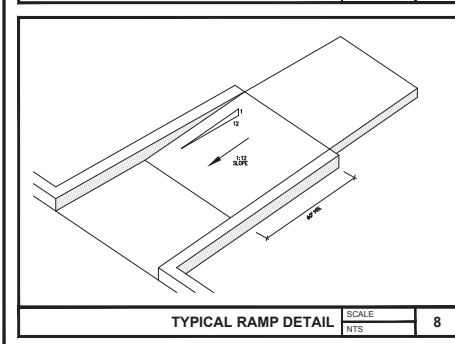
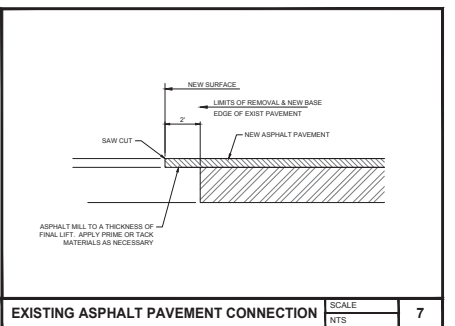
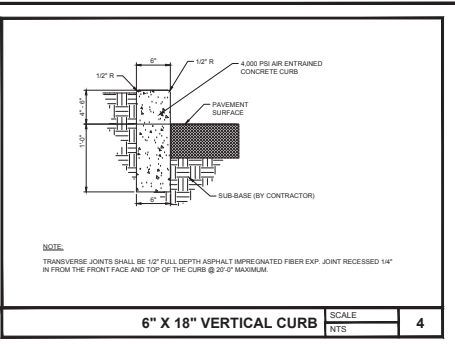
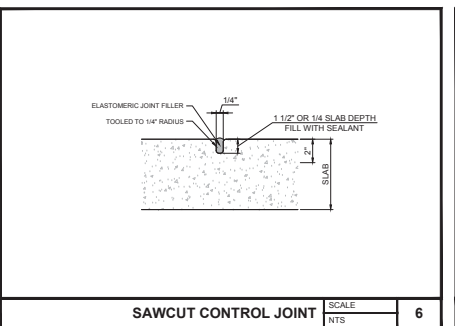
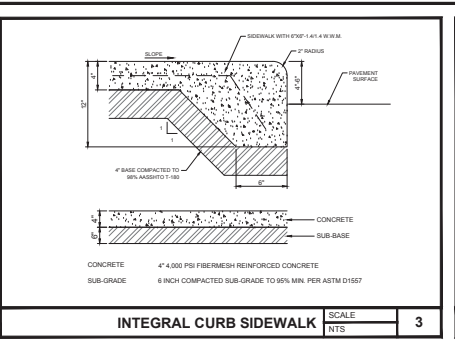
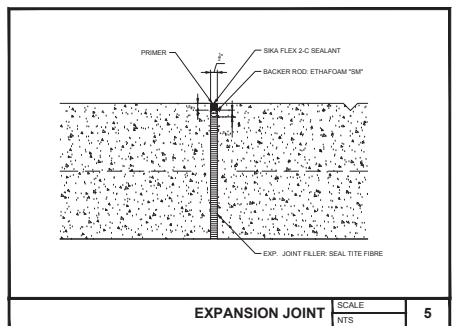
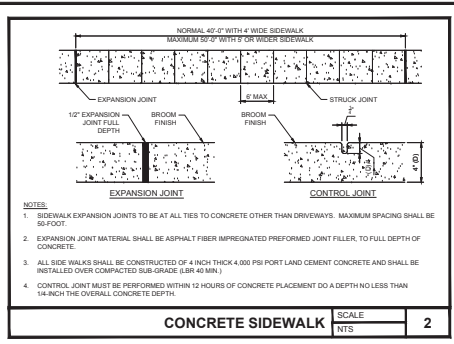
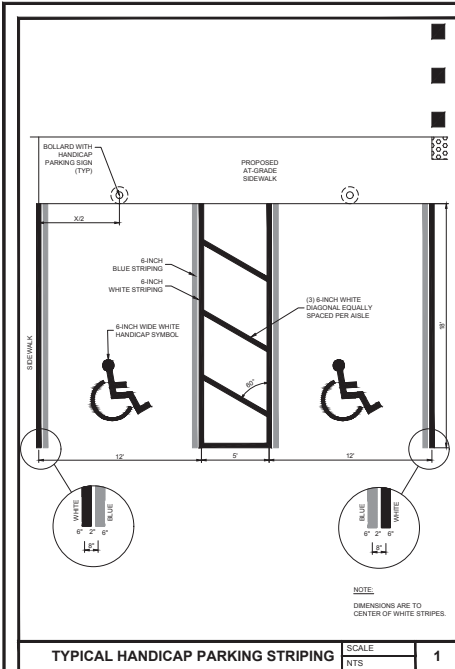
Project Name and Address

Scale: AS NOTED

Date: 08/28/19

Sheet No: C06.01

Project No: 156-84.00



NO.	REVISION	DATE	BY	CHKD.
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INFINITY
 INFINITY ENGINEERING GROUP, LLC
 1208 East Kennedy Boulevard
 Suite 230
 Tampa, Florida 33602
 [p] 813 434 4770
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 www.igrogroup.net
 FL Cert. of Auth. No. 27889

Client Name and Address
Wendy's
 1100 PARK CENTRAL BLVD S SUITE 3300
 POMPANON BEACH, FL 33064

NSIT SAPPARKHAO, P.E.
 FL REG. NO. 84065
 Digitally signed by Nisit Sapparkhao
 DN: c=US, cn=Nisit Sapparkhao, email=nsit@igrogroup.net
 Date: 2020.01.03 11:50:13 -0500

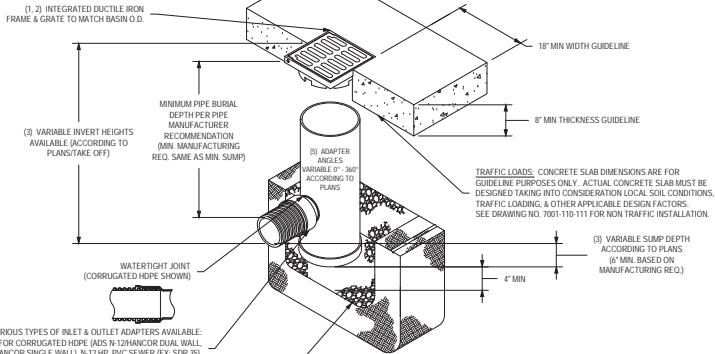
Project Name and Address
WENDY'S STORE NO. 12660
 1218 EAST STATE ROAD 204
 WINTER SPRINGS, FL 32798

Project No.: 135-84-00
 Date: 08/28/19
 Scale: AS NOTED

Sheet Title: **DETAILS**

Sheet No.: **C12.01**

NYLOPLAST 12" DRAIN BASIN: 2812AG _ _ X



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-20	1296COP	7001-110-202
STANDARD	MEETS H-20	1296CSE	7001-110-203
SOLID COVER	MEETS H-20	1296CSE	7001-110-204
PEDESTRIAN BRIDGE	N/A	1296CSP	7001-110-205
DCME	N/A	1296CSD	7001-110-206
CRIP/R GRATE	LIGHT DUTY	1201E	7001-110-021

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 WITH THE EXCEPTION OF THE BRIDGE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. REVISIONS ARE NEEDED FOR BACKFLOW OR DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-046
- DRAINAGE CONNECTION STOP JOINT TIGHTNESS SHALL CONFORM TO ASTM D2272 FOR CORRUGATED HDPE (ADD N-12HANCOR DUAL WALL) 12-1/2" x 4" PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 300°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012

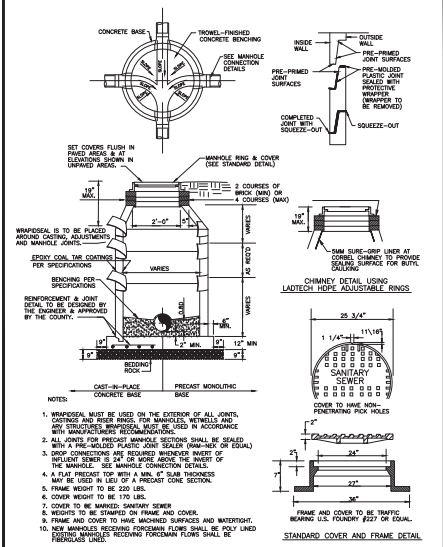
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DRAWN BY: EBC
DATE: 03-29-06
REVISOR: MMH
DATE: 03-11-16
DWG SIZE: A
SCALE: 1:20
SHEET: 1 OF 1

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BURLINGAME, CA 94010
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12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
REV: E

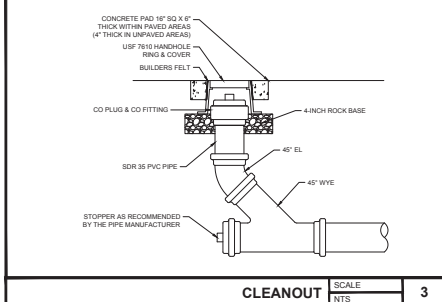
12 INCH YARD DRAIN SCALE: NTS



- NOTES:
- NYLOPLAST MUST BE USED ON THE EXTERIOR OF ALL JOINTS, JOINTS AND REEF RINGS. FOR MANHOLES, REEF RINGS AND ADAPTERS REPAIRS MUST BE USED IN ACCORDANCE WITH NYLOPLAST'S RECOMMENDATIONS.
 - ALL JOINTS FOR PRECAST MANHOLE SECTIONS SHALL BE SEALED WITH A PRE-APPLIED PLASTIC JOINT SEALER (NYLOPLAST OR EQUAL).
 - JOINT CONNECTIONS ARE REQUIRED UNLESS THE INVERT OF THE MANHOLE IS 24" OR MORE ABOVE THE INVERT OF THE RECEIVING MANHOLE CONNECTION DETAIL.
 - A 1/4" RAIN TIGHT GASKET IS TO BE USED IN ALL MANHOLES. IT MAY BE USED IN LIEU OF A PRECAST CONE SECTION. FRAME HEIGHT TO BE 200 LBS.
 - COVER WEIGHT TO BE 170 LBS.
 - COVER IS TO BE MARKED: SWEETNEY'S SERIES.
 - WEIGHTS TO BE STAMPED ON FRAME AND COVER.
 - FRAME AND COVER TO HAVE FINISHED SURFACES AND WATER-TIGHT.
 - NEW MANHOLES RECEIVING FORDOMAN FLOWS SHALL BE POLY LINED PERMANENTLY.
 - NEW MANHOLES RECEIVING FORDOMAN FLOWS SHALL BE POLY LINED PERMANENTLY.

SEW. CO. OCT 2012 305

PRECAST CONCENTRIC CONCRETE MANHOLE SCALE: NTS



CLEANOUT SCALE: NTS

NO.	DATE	DESCRIPTION
1	03/29/06	NYLOPLAST 12" DRAIN BASIN
2	03/11/16	REVISIONS
3	03/11/16	REVISIONS
4	03/11/16	REVISIONS
5	03/11/16	REVISIONS
6	03/11/16	REVISIONS
7	03/11/16	REVISIONS
8	03/11/16	REVISIONS
9	03/11/16	REVISIONS
10	03/11/16	REVISIONS

INFINITY ENGINEERING GROUP, LLC
1208 East Kennedy Boulevard
Suite 230
Tampa, Florida 33602
Tel: 813-434-4770
Fax: 813-445-4211
www.infinityeng.net
FL Cert. of Auth. No. 27889

Wendy's
1100 PARK CENTRAL BLVD S SUITE 3300, POMPANO BEACH, FL 33064

NISIT SAPPARKHAD, P.E.
FL REG. NO. 66065

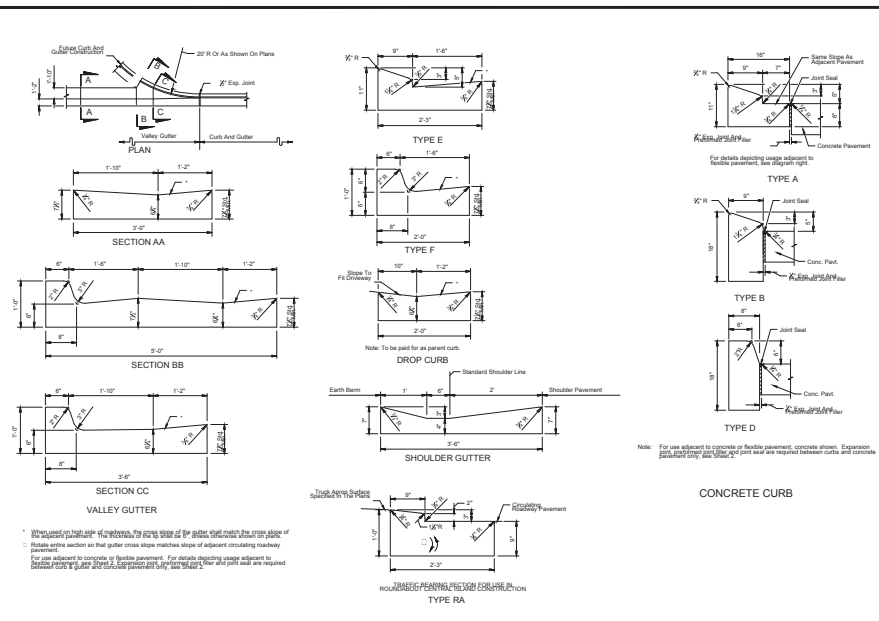
Digitally signed by Nisit Sapparkhad DN: cn=US, c=Nisit Sapparkhad, email=nisit@ngro up.net Date: 2020.01.03 11:50:45 -0500

WENDY'S STORE NO. 12660
Project Name and Address: 1218 EAST STATE ROAD #24 WINTER SPRINGS, FL 32789

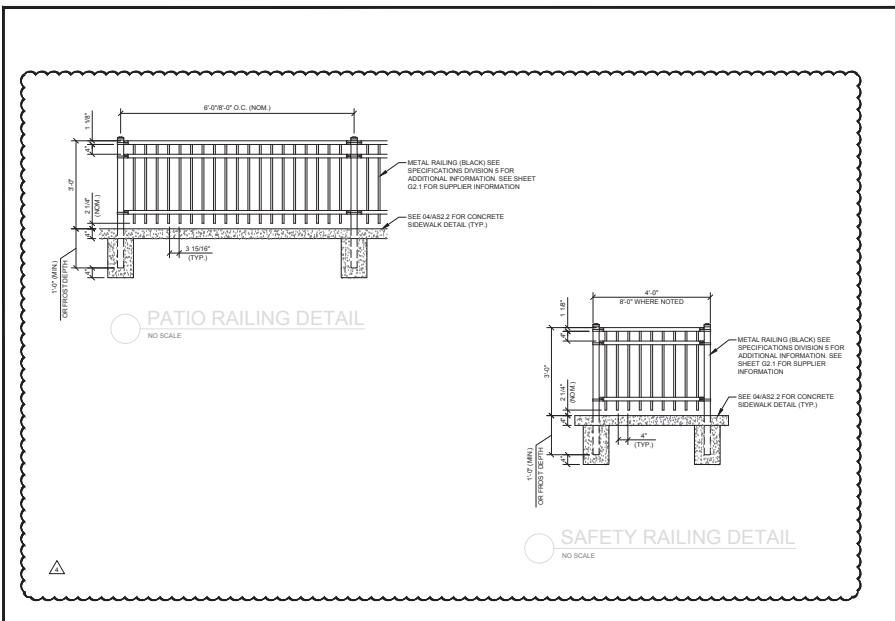
DETAILS

Project No: 135-84-00
Date: 08/28/19
Scale: AS NOTED

Sheet Title: **C12.03**



FDOT INDEX 300 - CONCRETE CURB AND GUTTER SCALE: NTS



WENDY'S STANDARD SAFETY HANDRAIL SCALE: NTS

SAFETY RAILING DETAIL SCALE: NTS

LANDSCAPE NOTES

1. Work under these documents shall consist of preparation of planting areas, furnishing all new plant materials and planting all proposed plant materials specified herein and as shown on the drawings, notes, and specifications. This shall include adjustments to finished grading, furnishing and spreading topsoil, staking, watering, pruning, fertilizing, mulching, and laying sod; and maintenance and protection of plants until final acceptance by the OWNER, as well as fulfilling all guarantee provisions.
2. Locations, elevations and dimensions of existing above and below ground utilities, structures, and other features are shown according to the best information available at the time of the preparation of these plans, but do not purport to be absolutely correct. The LANDSCAPE CONTRACTOR shall field verify the locations, elevations and dimensions of all existing features affecting his work prior to construction. The LANDSCAPE CONTRACTOR shall become familiar with all plans prepared by others that affect the landscape and irrigation work. Any discrepancies shall be brought to the attention of the LANDSCAPE ARCHITECT or OWNER.
3. It shall be the LANDSCAPE CONTRACTOR'S sole responsibility to notify any interested agencies or parties of his intent to excavate and to obtain from all agencies or other interested parties locations of all existing utilities of every kind in the areas where he intends or plans to excavate. Such locations shall be obtained prior to starting construction and shall be maintained during construction. 48 hours before beginning work, contractor may call the utility owner(s) and "SUNSHINE STATE ONE" (TELEPHONE: 1-800-282-5661).
4. The LANDSCAPE CONTRACTOR shall interfere with other work being performed by other contractors. It will be necessary for the LANDSCAPE CONTRACTOR to coordinate and schedule activities, where necessary, with other contractors and their subcontractors.
5. The LANDSCAPE CONTRACTOR shall control runoff and erosion during construction through the use of sediment basins, silt fences or any basins as appropriate.
6. The LANDSCAPE CONTRACTOR shall sprinkle or otherwise manually apply water to affected construction area to control both significant wind erosion and fugitive dust. Also refer to Civil Engineering Drawings for sediment control provided by General Contractor and Site Contractor as part of site work.
7. The LANDSCAPE CONTRACTOR shall at all times keep the premises free from accumulation of waste materials or debris caused by his crew during the performance of the work. The LANDSCAPE CONTRACTOR shall remove all waste materials, debris, unused plant material, empty plant containers and all equipment from the project site, on a daily basis.
8. The LANDSCAPE CONTRACTOR shall be responsible for removing existing vegetation as required and preparing planting areas prior to installation of plant materials.
9. The LANDSCAPE CONTRACTOR shall insure adequate vertical drainage in all planted areas. Where applicable, vertical drilling through hardpan and compacted fill may be used to insure drainage. The LANDSCAPE CONTRACTOR shall insure that his work does not impact established or projected drainage patterns.
10. The GENERAL CONTRACTOR, in coordination with the LANDSCAPE CONTRACTOR, shall select a protected area or area of the site to be free of construction-related erosion or degradation during the construction process. For the stockpiling of the horizon "0" (litter layer) and "1" (topsoil layer) of the site soil profile.
11. Any new or additional topsoil brought on site shall fall in the pH range of 4.5 to 6.5, prior to addition of fertilizers or organic amendments to support plant viability. Organic content of topsoil shall be between 3% and 15%, with pH of 4.5 - 6.5.
12. The LANDSCAPE CONTRACTOR shall test project soils to verify that the on-site soils are acceptable for proper growth of plant materials and adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall coordinate the location and procurement of existing on-site samples and replacement soils with the LANDSCAPE ARCHITECT. Representative samples shall be submitted to a certified testing laboratory for analysis. The findings shall be reviewed and approved by the OWNER or LANDSCAPE ARCHITECT prior to delivery and installation of planting materials at the job site.
13. The GENERAL CONTRACTOR shall carry out compaction and infiltration test in accordance with the written specifications.
14. Soil in parking islands and within eight feet of curbs and buildings shall be removed to a minimum depth of six inches for shrubs and groundcovers, and 18 inches within six feet of trees, and replaced with fully amended soil with building materials. See Specifications for further detail concerning topsoil makeup, depth, etc.
15. When working within existing tree canopy drip lines, LANDSCAPE CONTRACTOR shall take precaution to avoid cutting major tree roots of >1" diameter. Shifting the position of the plant a few inches may help to avoid damaging tree roots. Use an air mat or water mat to keep it out of the way to find structural roots. Behave roots with water, immediately. If jack and bore technique is required, the process shall be executed at least 12" below the existing grade to avoid root roots.
16. When outside of tree canopy drip line, any roots of existing trees encountered during installation, and obstructing installation, shall be cut off, evenly, with clean, sharp pruning tools. Minimize damage to existing tree systems. Where possible, hand-dig around existing roots to avoid damaging them.
17. The LANDSCAPE CONTRACTOR shall be responsible for removing all tree stakes and guy wires from trees which are established at the end of one (1) complete growing season. Trees which have been replaced shall remain staked for one (1) full growing season, and the owner shall be responsible for removing tree stakes and guy wires. Staking materials shall be disposed off site.
18. All existing plant beds and trees to remain within the construction limit line shall be left undisturbed. Existing trees, as noted on the drawings, shall be left undisturbed and protected by wooden berms erected at the perimeter of the tree drip line(s). No vehicle shall traverse this area nor shall any storage of materials or equipment be permitted within this area. Any existing plant beds or trees damaged by construction activity shall be replaced by the responsible party at their own expense.
19. Every possible safeguard shall be taken to protect building surfaces, equipment, furnishings and existing plant areas to remain (including lawn). The LANDSCAPE CONTRACTOR is responsible for any damage or injury to person or property that may occur as a result of negligence in the execution of the LANDSCAPE CONTRACTOR'S work. GENERAL CONTRACTOR shall be responsible for removal of construction debris within one (1) foot of building foundation.
20. All planting areas shall be free of debris by the LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR shall notify OWNER if site grading is inappropriate for the health of plant material.
21. The OWNER shall have the right to reject any and all work and materials which, in the OWNER'S opinion, do not meet the requirements of the planting plan, details, specifications and these notes. The LANDSCAPE CONTRACTOR shall replace rejected work and continue specified maintenance until reinspected and acceptance. The LANDSCAPE CONTRACTOR shall remove rejected plants and materials from the planting site within 48 hours and replace with acceptable materials. No chains or cables shall be used when installing plant material.
22. No plant or material substitutions or modifications to practices specified or detailed in these documents will be permitted without prior written consent of the LANDSCAPE ARCHITECT or OWNER. If specified materials are not available, LANDSCAPE CONTRACTOR shall identify the extent and quality of the proposed substitution and submit, in writing, along with a recommended substitution that meets or exceeds the initial requirement. If the use of larger plants is approved, the root ball shall be increased in proportion to the size of the plant per Grades and Standards. Minimum container or caliper size of trees may be increased, if necessary, to evergreen overall plant size specified.
23. Prior to planting installation, the LANDSCAPE CONTRACTOR shall confirm the availability of all the specified plant materials, and take appropriate action with the LANDSCAPE ARCHITECT if reviewing and mutually field tagging (specify plant materials), at least 2 weeks prior to procurement and delivery to the job site. The LANDSCAPE ARCHITECT of record may inspect plants at nursery. Review of Grades and Standards will occur at time of delivery at site.
24. Except for characteristic otherwise specified in these documents, all plants shall adhere to qualifications of Florida No. 1 grade, or better, as set forth in the Florida Department of Agriculture and Consumer Services "Florida Grades and Standards for Nursery Plants 2015", and including any revisions as determined by the State Plant Board of Florida. LC shall refer to said document prior to selecting and delivering plant materials. Where there are discrepancies between the Florida Grades and Standards and the descriptions and specifications found in the plans, notes and specifications of this document, this document shall prevail. Plants called out as "Specimens" shall be Florida Grade or better, per above mentioned standard.
25. While LANDSCAPE ARCHITECT, OWNER, or OWNER'S AUTHORIZED REPRESENTATIVE may provide input through joint visits to nurseries with the LANDSCAPE CONTRACTOR, selection of the plant is the responsibility of the LANDSCAPE CONTRACTOR. Inspection of plants shall occur at the site, and on the day of delivery.
26. LANDSCAPE CONTRACTOR shall hire an objective third-party to review the quality of the plants where delivered to the site. See Grades and Standards for related information.

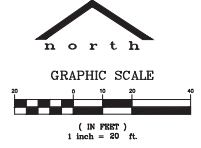
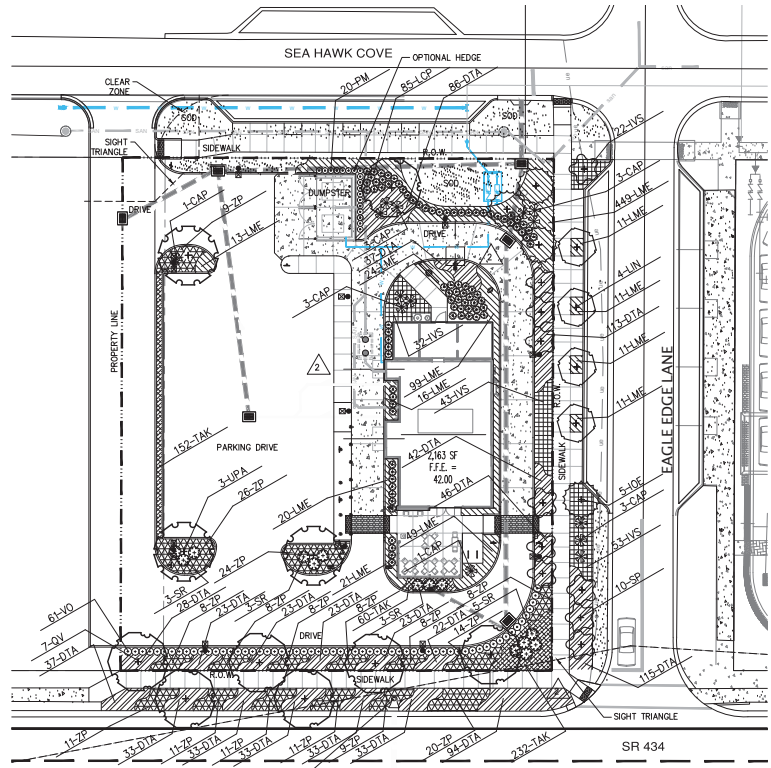
27. The plant quantities shown on the landscape contract documents are for the convenience of the LANDSCAPE CONTRACTOR. Where there are discrepancies in plant quantities, the plan prevails. Spacing of plant material shall not be less than the quantities indicated for planting areas. The LANDSCAPE CONTRACTOR is responsible for verifying all quantities and reporting any discrepancies to the LANDSCAPE ARCHITECT for clarification prior to award of contract and commencement of work.
28. Balled and Burrapped (B&B) trees shall be nursery grown and shall be hardened off with vigorous fibrous non-woody roots, visible outside the ball wrap. Certification of this shall be presented through the balled root wrapping to the OWNER. Representative or LANDSCAPE ARCHITECT from any grower, distributor, or installer. The LANDSCAPE CONTRACTOR shall be protected from detection and other damage per ANSI A500/Part 6-2012, section 63.6.2. No chains or cables shall be used when installing plant materials. LANDSCAPE CONTRACTOR may contact "The Florida Grower Association at (800) 897-4001 for names of some nurseries practicing these methods. All other trees to be container grown or as specified.
29. All plants shall be hardy under climatic conditions similar to those in the locality of the project.
30. As per these drawings and specifications, the "TL" (Detail) of proposed plant materials, unless otherwise specified, shall mean the actual distance as measured from the soil stress mark on the trunk or base of the plant to the top elevation of the plant. All plants shall comply with Grades and Standards for root ball size, relative to specified plant height and width.
31. All installation of plant material and related construction activity shall comply with applicable jurisdictional codes. The LANDSCAPE CONTRACTOR is responsible for obtaining all permits associated with his work.
32. The LANDSCAPE CONTRACTOR shall field stake the location of all shrub and ground cover plant bed outlines and individual trees, palms, and accent shrubs in accordance with the plans. The LANDSCAPE CONTRACTOR shall obtain the LANDSCAPE ARCHITECT'S approval to proceed with installation; prior to delivery and installation of the plant material. If existing conditions do not allow the design to be laid out as shown on plans, notify the LANDSCAPE ARCHITECT or OWNER immediately.
33. All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth and flowing. If trees are located outside of beds in noed areas, maintain a minimum 3' wide offset to allow for mowers to maneuver.
34. No trees shall be planted within designated utility corridors or public right of way WITHOUT OF ANY UTILIZATION PERMIT. No plants shall be located within four feet (4') of any utility or weak centerline identified on the drawings. Field-adjust as necessary and review adjustments with LANDSCAPE ARCHITECT or OWNER prior to installation.
35. The LANDSCAPE CONTRACTOR shall be responsible for the selection and plumb condition of all installed plant materials and replacing any damaged plant material with plants of equal size and condition of remaining thriving plants, at no cost to the owner. At an additional cost to the owner, it shall be the contractor's responsibility to prevent plants and trees from falling or being blown over and to replace all plants damaged due to inadequate guying or staking.
36. All proposed planting areas for trees, palms, shrubs, and groundcovers shall be top dressed with three (3) inches of other specified Fine needle or Pine Bark Suggest match spread uniformly in depth over the planting beds as delineated on the plans. Mulch shall not be installed within one (1) foot of buildings. The landscape scope of work includes mulching as an integral part of the project and not as a separate cost work item.
37. The LANDSCAPE CONTRACTOR shall verify the extent of sod work in the field. The LANDSCAPE CONTRACTOR shall be responsible for providing grass seed on the areas shown on the plan and disturbed by construction activity in sufficient quantity to provide full coverage. Additional seed required will be adjusted based on a square footage unit price. The surface of all areas to be grained or sodded shall be prepared for the placement of seed by the LANDSCAPE CONTRACTOR. Areas to be sodded shall be amended per soils report to provide required materials, organic matter, etc. in the topsoil. The LANDSCAPE CONTRACTOR shall remove all debris from the areas as shown on the plan to receive sod and lay sod evenly without gaps. All joints shall be staggered. Topsoil depth in sodded areas shall be minimum 3" and graded to elevations per Civil engineering plans.
38. All other areas disturbed during construction shall be sodded or seeded and mulched with Argentine Bahia grass unless otherwise specified on the plans, details or specifications. If grass seed is specified, it shall be delivered to the job in containers with Florida Department of Agriculture tags attached, indicating the seed grower's compliance with the department's quality program.
39. The LANDSCAPE CONTRACTOR shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until the irrigation system is fully operational and final acceptance by the OWNER. All plant materials shall be watered to insure plant survival, in accordance with Florida Grades and Standards for Nursery Plants 2015.
40. Upon completion of the work, the LANDSCAPE CONTRACTOR shall notify the OWNER and the LANDSCAPE ARCHITECT in writing and request a final inspection. Any items that are judged incomplete or unacceptable by the OWNER or the LANDSCAPE ARCHITECT shall be promptly corrected by the LANDSCAPE CONTRACTOR.
41. The LANDSCAPE CONTRACTOR shall guarantee all shrubs and groundcovers for a period of one hundred eighty (180) calendar days from the date of final acceptance in writing from the OWNER. At the time of final acceptance, the one hundred eighty (180) day guarantee period shall commence. Trees shall be guaranteed for one (1) year. Any materials which have died during this period shall be promptly replaced with specimens that meet the minimum requirements called for in these documents. The LANDSCAPE CONTRACTOR shall not be held responsible for death or damage resulting from lightning, vandalism, or from negligence by the OWNER. The OWNER shall be responsible for watering and otherwise maintaining plants during the guarantee period if a maintenance agreement is not accepted from the LANDSCAPE CONTRACTOR.
42. LANDSCAPE CONTRACTOR shall not recommend and install invasive species as replacement for plants on planting plan. See Flpeppergo and invasivespecies.org for problem species.
43. All landscape bids shall be itemized with the amounts based on per plant unit prices, including mulch, fertilizer, etc. Any substitutions, additions or deletions will change the total amount of the CONTRACT FEE based on the above mentioned unit price criteria.
44. See landscape specifications for further requirements.
45. The LANDSCAPE CONTRACTOR shall submit a separate proposal for a one (1) year maintenance agreement.
46. GENERAL CONTRACTOR shall remove all existing invasive exotic plants, as listed on the Florida Exotic Pest Plant Council's Invasive Plant Species List.

Winter Springs Code Notes

1. Owner shall hand water all code plants until establishment and as need, thereafter.
2. All trees transplanted pursuant to Chapter 5 of the Land Development Code shall be maintained in a healthy, living condition. Any such trees which die shall be replaced and maintained by the property owner.
3. Not more than twenty (20) percent of replacement trees shall be of a single species.
4. When landscaping is used to screen mechanical equipment and appurtenances, it shall be maintained at least one (1) foot above the screened object. Landscape screen must be evergreen and reach required height within one (1) year. Screen shall be continuously maintained.
5. Backflow preventers and other above ground valves shall be screened to they are not visible from the street right-of-way, using either landscaping or an opaque building material.

Landscape Calculations

PROJECT AREA = 1.25 ACRES
 CANOPY TREES REQUIRED (4 PER ACRE) = 5 TREES
 TREES PROVIDED = 13 CANOPY TREES



Wendy's Land Design
 Landscape Architectural Site Planning
 1863 Kings Court • Winter Springs, Florida 32781
 Phone: (407) 831-2225 • Fax: (407) 208-3984

NO.	DATE	DESCRIPTION
1	12/17/19	ISSUE FOR PERMITS
2	12/17/19	ISSUE FOR PERMITS
3	12/17/19	ISSUE FOR PERMITS
4	12/17/19	ISSUE FOR PERMITS
5	12/17/19	ISSUE FOR PERMITS

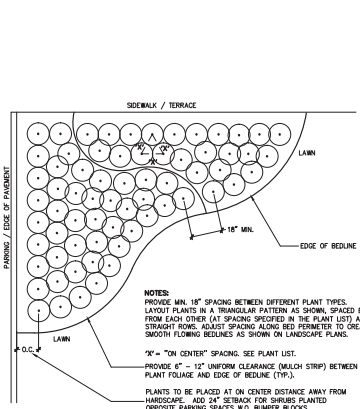
PLANTING PLAN

WENDY'S NO. 12660
 WINTER SPRINGS, FLORIDA 32788

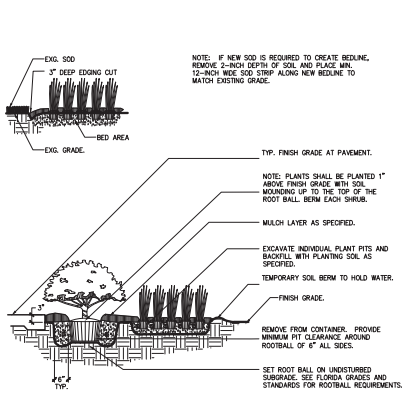
PROJECT NO./REV. NO.	19012	MLJ
DATE	5/9/19	MLJ
SCALE	AS SHOWN	MLJ
SHEET NO. OF NO.	LP-01	2
INFORMATIONAL COPY ONLY - VALUES ENDSORSED WITH REGISTERED LANDSCAPE ARCHITECTURE		
APPROVED BY		
MARK LAMER JOHNSON		
FLORIDA LICENSE NO. 1630		
DATE	5/15/19	

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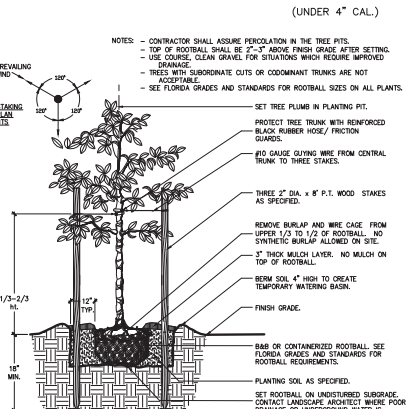
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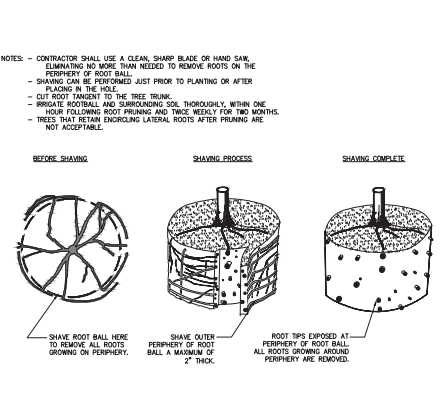
1 SHRUB/GROUND COVER SPACING DETAIL
SCALE: N.T.S.



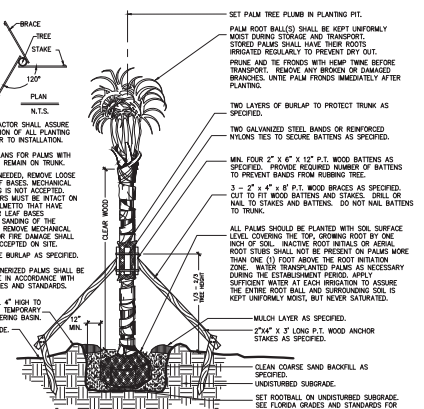
2 PLANTING DETAIL
SCALE: N.T.S.



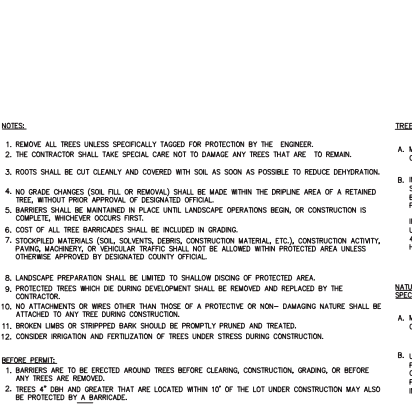
3 TYP. SMALL TREE PLANTING DETAIL
SCALE: N.T.S.



4 TYP. ROOT BALL SHAVING DETAIL
SCALE: N.T.S.



5 TYP. PALM TREE PLANTING DETAIL
SCALE: N.T.S.



6 TREE BARRICADE DETAIL
SCALE: NOT TO SCALE

- NOTES:**
- REMOVE ALL TREES UNLESS SPECIFICALLY TAGGED FOR PROTECTION BY THE ENGINEER.
 - THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE ANY TREES THAT ARE TO REMAIN.
 - ROOTS SHALL BE CUT CLEANLY AND COVERED WITH SOIL AS SOON AS POSSIBLE TO REDUCE DEHYDRATION.
 - NO GRADE CHANGES (SOIL FILL OR REMOVAL) SHALL BE MADE WITHIN THE DRILLPIE AREA OF A RETAINED TREE, WITHOUT PRIOR APPROVAL OF DESIGNATED OFFICIAL.
 - BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL LANDSCAPE OPERATIONS BEGIN, OR CONSTRUCTION IS COMPLETE, WHICHEVER OCCURS FIRST.
 - COST OF ALL TREE BARRICADES SHALL BE INCLUDED IN GRADING.
 - STOCKPILED MATERIALS (SOIL, SOLVENTS, DEBRIS, CONSTRUCTION MATERIAL, ETC.), CONSTRUCTION ACTIVITY, PAVING, MASONRY, OR VEHICULAR TRAFFIC SHALL NOT BE ALLOWED WITHIN PROTECTED AREA UNLESS OTHERWISE APPROVED BY DESIGNATED COUNTY OFFICIAL.
 - LANDSCAPE PREPARATION SHALL BE LIMITED TO SHALLOW DISGORGING OF PROTECTED AREA.
 - PROTECTED TREES WHICH DIE DURING DEVELOPMENT SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR.
 - NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE DURING CONSTRUCTION.
 - BROKEN LIMBS OR STRIPPED BARK SHOULD BE PROMPTLY PRUNED AND TREATED.
 - CONSIDER IRRIGATION AND FERTILIZATION OF TREES UNDER STRESS DURING CONSTRUCTION.
- BEFORE PERMIT:**
- BARRIERS ARE TO BE ERRECTED AROUND TREES BEFORE CLEARING, CONSTRUCTION, GRADING, OR BEFORE ANY TREES ARE REMOVED.
 - TREES 4\"/>

- TREE BARRIER INSTALLATION SPECIFICATIONS:**
- MINIMUM HEIGHT OF HORIZONTAL COMPONENTS SHALL BE 3' ABOVE GRADE.
 - INSTALL MIN. 2\"/>
- NATURAL AREA BARRIER INSTALLATION SPECIFICATIONS:**
- MINIMUM HEIGHT OF HORIZONTAL COMPONENTS SHALL BE 3' ABOVE GRADE.
 - UPRIGHTS SHALL BE MIN. 2\"/>

PLANT LIST

Symbol	Scientific and Common	Size	Space	Qty
IOE	Ilex opaca 'Eagleston' Eagleston Holly	10'x 3'; 2.5' Cal.; 3.5' C.S.T.	A.S.	4
LIN	Lagerstroemia indica 'Natchez' White Crape Myrtle	11'x 4'; 2.5' Cal.; 4' C.S.T.	A.S.	4
MG *	Magnolia grandiflora Southern Magnolia	12'x 3.5'; 2.5' Cal.; 4' C.S.T.	A.S.	--
QV	Quercus virginiana Live Oak	12'x 4.5'; 2.5' Cal.; 4' C.S.T.; Full	A.S.	7
UPA	Ulmus parvifolia 'Emer II' Alike Elm	11'x 4'; 2 1/2\"/>		
SP	Sabal palmetto Cabbage Palm	W/ Boots; Florida Fancy; 8' C. T.	A.S.	10
* OPTIONAL CANOPY TREE				

Shrubs, Ground Cover, & Sod

CAP	Crinum asiaticum 'Procerum' Purple Leaf Crinum Lily	15-18\"/>		
DTA	Dianella tasmanica Blueberry Flax	1 Gal.; 14\"/>		
IVS	Ilex vomitoria 'Stokes Dwarf' Dwarf Yopaine Holly	3-Gal.; 18\"/>		
LME	Liriod. muscari 'Emerald Goddess' Emerald Goddess Giant Liriope	1 Gal.; 9 PPP; Full	18\"/>	
LCP	Loropetalum chinenses Chinese Fringe Bush	3-Gal.; 24\"/>		
PO	Panicum macrophyllum 'Maki' Maki Yew	3-Gal.; 24\"/>		
SR	Strelitzia reginae Bird of Paradise	15 Gal.; 36\"/>		
TAK	Trachelospermum asiaticum 'Kenrokuen' Dwarf Mirinda Jasmine	1 Gal.; Full; 18\"/>		
VO	Viburnum odoratissimum Sweet Viburnum	3-Gal.; 30\"/>		
ZP	Zamia pumila Coe Palm Fern	3 Gal.; 18\"/>		
SOD	Paspalum notatum 'Argentine' Bahio Grass	Solid Sod as needed		

- ABBREVIATIONS:**
- | | |
|-------------------------------|---------------------------------|
| APPROX. = APPROXIMATE | L.O.C. = LIMITS OF CONSTRUCTION |
| B.C. = BOTTOM OF CURB | L.P. = LOW POINT |
| B.O.C. = BACK OF CURB | MAX. = MAXIMUM |
| B.O.W. = BOTTOM OF WALL | MIN. = MINIMUM |
| BYD. = BOOTED | M.T. = MULTIPLE TRUNK |
| CAL. = CALIPER | N.I.C. = NOT IN CONTRACT |
| C.C. = COMBINED CALIPER | N.T.S. = NOT TO SCALE |
| C.G. = CONTAINER CROWN | O.A. = OVERALL |
| CL. = CENTER LINE | O.C. = ON CENTER |
| C.M.T. = CLEAR MULTIPLE TRUNK | O.D. = OUTSIDE DIAMETER |
| CMU = CONCRETE MASONRY UNIT | OPT. = OPTIONAL |
| C.S.T. = CLEAR SINGLE TRUNK | P.L.C. = PROPERTY LINE |
| C.T. = CLEAR TRUNK | P.T. = PRESSURE TREATED |
| D.B.H. = DIAMETER BREAST HIGH | QTY. = QUANTITY |
| EA. = EACH | R.O.W. = RIGHT OF WAY |
| EL. = ELEVATION | S.P. = SQUARE FOOT |
| E.O.P. = EDGE OF PAVEMENT | SPRD. = SPREAD |
| EX./ADO. = EXISTING | SYM. = SYMBOL |
| F.O.C. = FACE OF CURB | T. = TALL |
| FT. = FOOT | T.C. = TOP OF CURB |
| GAL. = GALLON | T.O.W. = TOP OF WALL |
| G.C. = GALLON CONTAINER | T.O.S. = TOP OF SLOPE |
| GALV. = GALVANIZED | TYP. = TYPICAL |
| H.P. = HIGH POINT | W. = WIDTH |
| INV. = INVERT ELEVATION | W/O = WITH OUT |
| L.A. = LANDSCAPE ARCHITECT | Ø = DIAMETER |

Wendy's Land Design
 Landscape Architectural Site Planning
 1850 Major Court • Melbourne, Florida 32931
 Phone: (407) 831-2225 Fax: (407) 204-3884


REVISIONS

NO.	DATE	DESCRIPTION
1	10/27/19	ISSUE FOR CITY COMMENTS
2	11/14/19	ISSUE FOR CITY COMMENTS
3	12/17/19	ISSUE FOR CITY COMMENTS
4	1/27/20	ISSUE FOR CITY COMMENTS

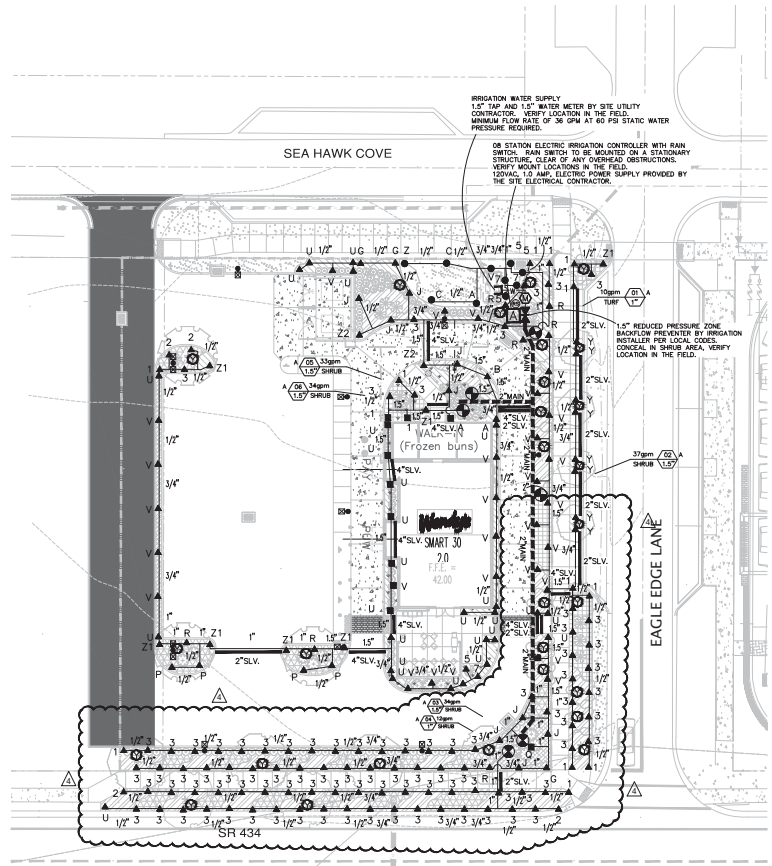
PLANTING DETAILS
WENDY'S NO. 12660
 WATER SPRINGS, FLORIDA 32708
 FLORIDA
 SEMINOLE COUNTY

PROJECT NO./REV. NAME	19012 MLJ	DESIGNED	MLJ
DATE	5/9/19	DRAWN	MLJ
SCALE	AS SHOWN	CHECKED	MLJ
SHEET NO.	LP-02	OF	2

INFORMATIONAL COPY ONLY - VALUES ENCLOSED WITH PERMITTED LANDSCAPE ARCHITECTURE SEAL

APPROVED BY

 MARK LANIER, LSC4800
 FLORIDA LICENSE NO. 1830
 DATE 5/15/19

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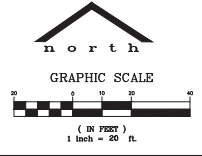
IRRIGATION WATER SUPPLY
 1.5" NIP AND 1.5" WATER METER BY SITE UTILITY CONTRACTOR. VERIFY LOCATION IN THE FIELD. MINIMUM FLOW RATE OF 30 GPM AT 60 PSI STATIC WATER PRESSURE REQUIRED.

ON STATION ELECTRIC IRRIGATION CONTROLLER WITH RAIN SWITCH. RAIN SWITCH TO BE MOUNTED ON A STATIONARY STRUCTURE, CLEAR OF ANY OVERHEAD OBSTRUCTIONS. VERIFY MOUNT LOCATION IN THE FIELD.

120VAC, 1.0 AMP. ELECTRIC POWER SUPPLY PROVIDED BY THE SITE ELECTRICAL CONTRACTOR.

1.5" REDUCED PRESSURE ZONE BACKFLOW PREVENTER BY IRRIGATION INSTALLER PER LOCAL CODES. CONICAL W/ SWIRL AREA. VERIFY LOCATION IN THE FIELD.

FOR REVIEW PURPOSES ONLY
 NOT FOR CONSTRUCTION USE



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Ecotone Land and Design
 Landscape Architectural Site Planning

1856 Kings Court • Kissimmee, Florida 34741
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REVISIONS	
NO.	DATE
1	12/11/19
2	12/11/19
3	12/11/19
4	12/11/19
5	12/11/19

IRRIGATION PLAN

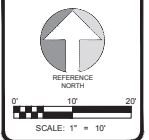
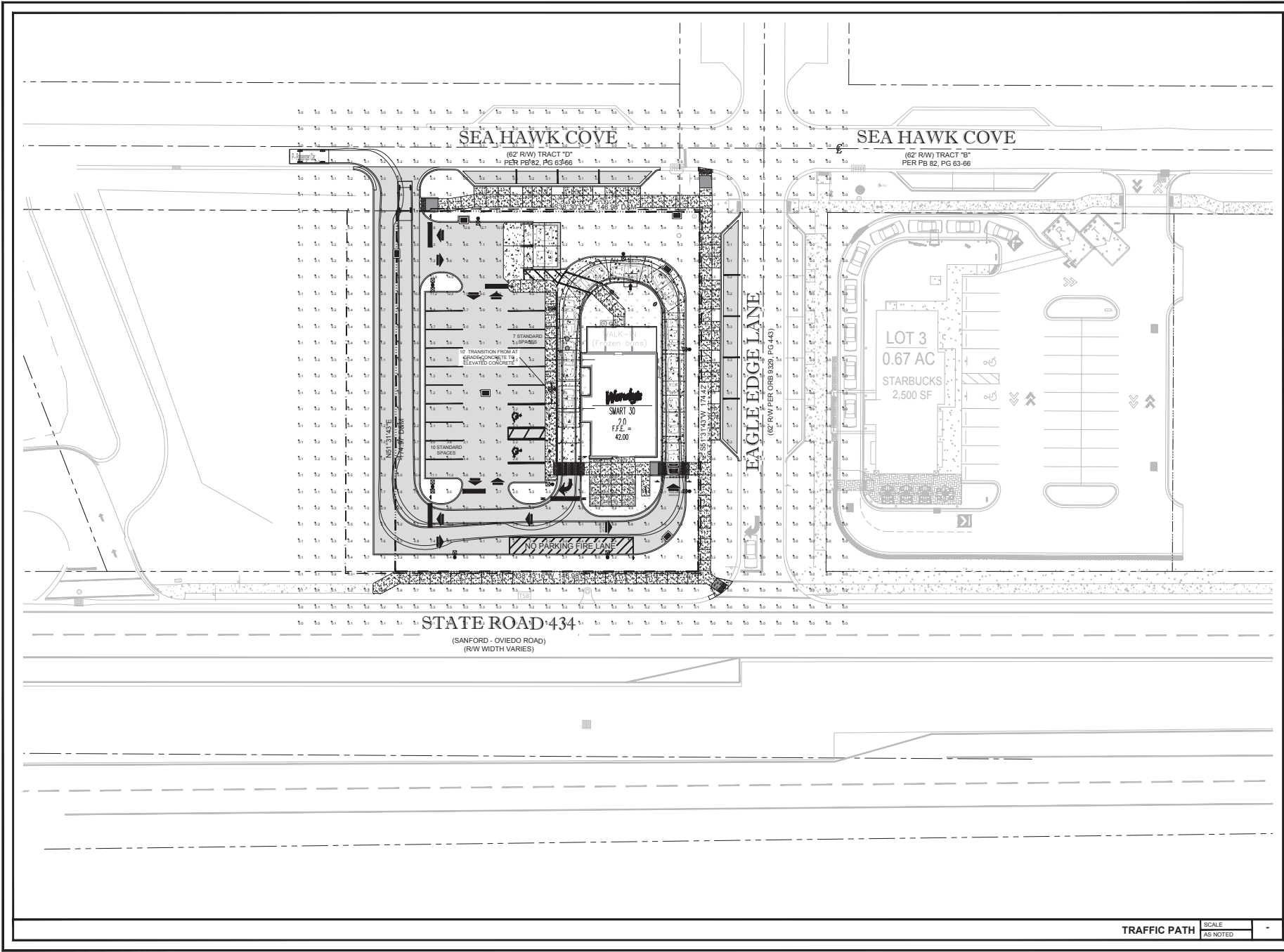
WENDY'S NO. 12660
 SR 434 AND WAGNER POINT
 WINTER SPRINGS, FLORIDA 32708

FLORIDA
 SEMINOLE COUNTY

PROJECT NO/FILE NAME	19012	DESIGN	PSI
DATE	9/11/19	DRAWN	MLJ
SCALE	AS SHOWN	CHECKED	MLJ
SHEET NO.	IR-01	OF	2

APPROVED BY

MICHAEL L. PREVOST
 FLORIDA LICENSE NO. 100778
 DATE 12/15/19



NO.	REVISION	DATE
1	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
2	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
3	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
4	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
5	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
6	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
7	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
8	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
9	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20
10	REVISION NO. 02 COMMENTS: SHEET 03/03/20	03/03/20

INFINITY
 INFINITY ENGINEERING GROUP, LLC
 1208 East Kennedy Boulevard
 Suite 230
 Tampa, Florida 33602
 [p] 813.434.4770
 [f] 813.445.4211
 www.iggroup.net
 FL Cert. of Auth. No. 27889

Client Name and Address

 1100 PARK CENTRAL BLVD S SUITE 3300
 POMPANON BEACH, FL 33064

NISIT SAPPARKHAO, P.E.
 FL REG. No. 6888
 DN: c=US, cn=Nisit Sapparkhao, email=nisit@iggroup.net
 Date: 2020.03.11-11:51:02 AM

Project Name and Address
WENDY'S STORE NO. 12660
 1218 EAST STATE ROAD 434
 WINTER SPRINGS, FL 32798

Sheet Title
TRAFFIC PATH

Project No. 135-84.00
 Date: 08/28/19
 Scale: AS NOTED

Sheet
C02
 AS NOTED

TRAFFIC PATH SCALE AS NOTED

VICINITY MAP (NOT TO SCALE)



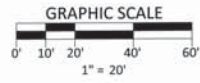
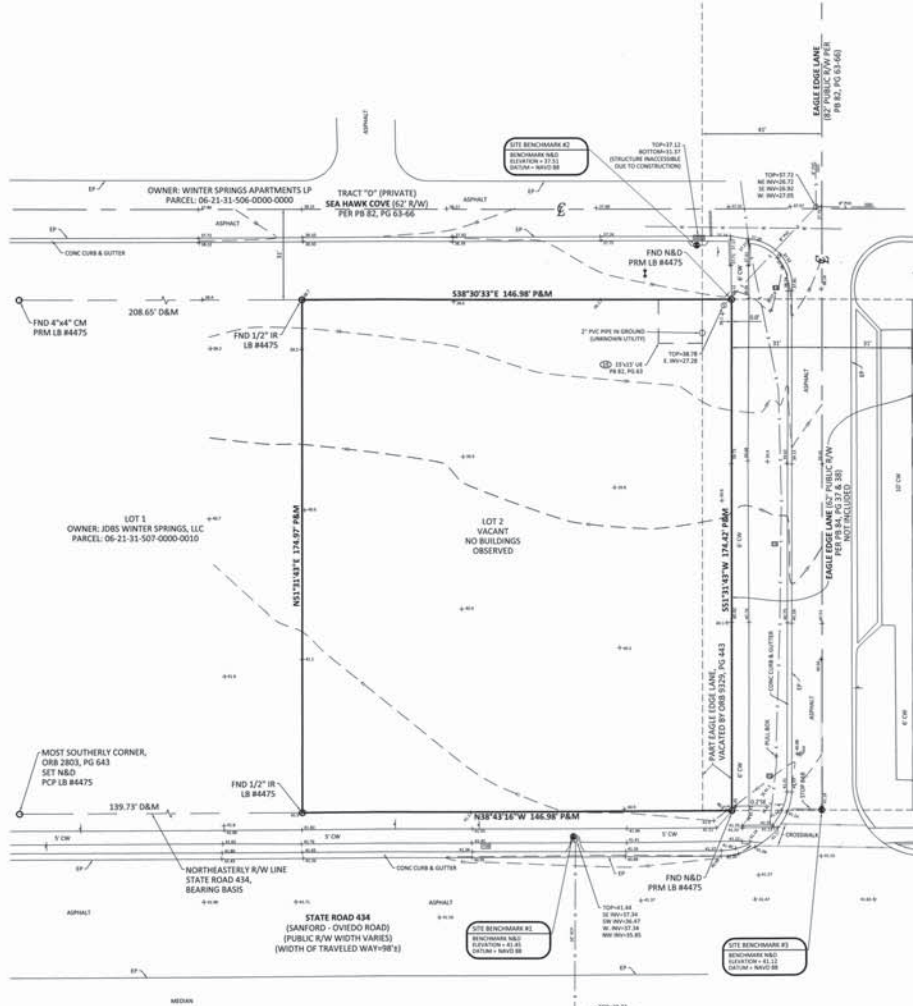
ALTA/NSPS LAND TITLE SURVEY

DESCRIPTION

LOT 2, WSTC OCEAN BLEU, ACCORDING TO PLAT THEREOF, RECORDED IN PLAT BOOK 84, PAGES 37 AND 38, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.
CONTAINS 25,677 SQUARE FEET OR 0.590 ACRES MORE OR LESS.

NOTES

- BEARING STRUCTURE IS ASSUMED AND BASED ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 434 BEING N38°43'31"W.
- THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENT'S REPRESENTATIVE.
- THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS BUILDING/LOT LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12117C0169W, COMMUNITY NO. 120295, CITY OF WINTER SPRINGS, SEMINOLE COUNTY, FLORIDA, EFFECTIVE SEPTEMBER 26, 2007.
- ACCORDING TO FLORIDA STATUTES, CHAPTER 472.03, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
- THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.
- THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.
- THIS SURVEY WAS MADE WITH BENEFIT OF FIDELITY NATIONAL TITLE INSURANCE COMPANY'S ORDER NO. 782394, DATED: JULY 25, 2019.
- ELEVATIONS BASED ON SEMINOLE COUNTY BENCHMARK #4733701, HAVING AN ELEVATION OF 44.4500 FEET, (NAVD 83).



TITLE EXCEPTIONS

- EASEMENT AGREEMENT BY AND BETWEEN SCHIMMSHER LAND FUND 1986-6, LTD., A FLORIDA LIMITED PARTNERSHIP, SCHIMMSHER LAND FUND V, LTD., A FLORIDA LIMITED PARTNERSHIP, SCHIMMSHER LAND FUND VI, LTD., A FLORIDA LIMITED PARTNERSHIP, AND MCDONALD'S RESTAURANTS OF FLORIDA, INC., A FLORIDA CORPORATION, RECORDED JULY 27, 2018 IN OFFICIAL RECORDS BOOK 2803, PAGE 647. (IT IS NOT ON, NOR DOES IT TOUCH, THE SURVEYED PROPERTY.)
- UNRECORDED LEASE AGREEMENT BY AND BETWEEN SCHIMMSHER MANAGEMENT, LANDLORD, AND MAHARAJA, INC. OUTDOOR ADVERTISING, TENANT, DATED APRIL 4, 1990. UNRECORDED LETTER AGREEMENT DATED DECEMBER 6, 1990 AND UNRECORDED AMENDMENT DATED AUGUST 24, 1993, AS EVIDENCED BY AND TOGETHER WITH SECOND AMENDMENT TO BILLBOARD LEASE RECORDED MARCH 27, 1995 IN OFFICIAL RECORDS BOOK 2896, PAGE 1517. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- TERMS AND PROVISIONS OF UNRECORDED LEASE AGREEMENT BY AND BETWEEN CAPITAL GREEN, L.L.C. A GEORGIA LIMITED LIABILITY COMPANY, LANDLORD, AND PUBLIC SUPER MARKETS, INC., A FLORIDA CORPORATION, TENANT, DATED OCTOBER 13, 2005, AS EVIDENCED BY AND TOGETHER WITH MEMORANDUM OF LEASE RECORDED SEPTEMBER 23, 2007 IN OFFICIAL RECORDS BOOK 4939, PAGE 651, FIRST ADDENDUM TO MEMORANDUM OF LEASE RECORDED FEBRUARY 28, 2009 IN OFFICIAL RECORDS BOOK 4713, PAGE 2106, SECOND AMENDMENT TO MEMORANDUM OF LEASE RECORDED JUNE 9, 2009 IN OFFICIAL RECORDS BOOK 5759, PAGE 833, THIRD AMENDMENT TO MEMORANDUM OF LEASE RECORDED MAY 30, 2009 IN OFFICIAL RECORDS BOOK 6265, PAGE 994, FOURTH AMENDMENT TO MEMORANDUM OF LEASE RECORDED MAY 30, 2009 IN OFFICIAL RECORDS BOOK 6265, PAGE 994 AND FIFTH AMENDMENT TO MEMORANDUM OF LEASE RECORDED FEBRUARY 11, 2013 IN OFFICIAL RECORDS BOOK 7962, PAGE 1505. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- TOWN CENTER PHASE 8A SITE DEVELOPMENT PERMIT AGREEMENT BY AND BETWEEN THE CITY OF WINTER SPRINGS, A FLORIDA MUNICIPAL CORPORATION, AND PEARL STREET ASSOCIATES, L.L.C. A GEORGIA LIMITED LIABILITY COMPANY, RECORDED MAY 9, 2006 IN OFFICIAL RECORDS BOOK 6237, PAGE 628. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- MAGNOLIA PARK EXPANSION PARKS AND RECREATION FEE CREDIT AGREEMENT BY AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND THE CITY OF WINTER SPRINGS, FLORIDA, A FLORIDA MUNICIPAL CORPORATION, RECORDED NOVEMBER 16, 2009 IN OFFICIAL RECORDS BOOK 7290, PAGE 467. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- AGREEMENT BY AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND THE CITY OF WINTER SPRINGS, A FLORIDA MUNICIPAL CORPORATION, RECORDED NOVEMBER 2, 2010 IN OFFICIAL RECORDS BOOK 7472, PAGE 307. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- FUTURE DEVELOPMENT COMMITMENT AGREEMENT BY AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND THE CITY OF WINTER SPRINGS, FLORIDA, A FLORIDA MUNICIPAL CORPORATION, RECORDED NOVEMBER 20, 2010 IN OFFICIAL RECORDS BOOK 7486, PAGE 146. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- TERMS AND PROVISIONS OF UTILITY EASEMENT AGREEMENT BY AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND THE CITY OF WINTER SPRINGS, FLORIDA, A FLORIDA MUNICIPAL CORPORATION, RECORDED NOVEMBER 20, 2010 IN OFFICIAL RECORDS BOOK 7486, PAGE 155. (IT IS NOT ON, NOR DOES IT TOUCH, THE SURVEYED PROPERTY.)
- TERMS AND PROVISIONS OF TEMPORARY PUBLIC DRAINAGE EASEMENT BY AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND THE CITY OF WINTER SPRINGS, FLORIDA, A FLORIDA MUNICIPAL CORPORATION, RECORDED JANUARY 18, 2012 IN OFFICIAL RECORDS BOOK 7599, PAGE 200. (IT IS NOT ON, NOR DOES IT TOUCH, THE SURVEYED PROPERTY.)
- DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF WINTER SPRINGS, A FLORIDA MUNICIPAL CORPORATION, AND WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, RECORDED APRIL 9, 2013 IN OFFICIAL RECORDS BOOK 8466, PAGE 1313, TOGETHER WITH FIRST MODIFICATION OF DEVELOPMENT AGREEMENT RECORDED JANUARY 31, 2017 IN OFFICIAL RECORDS BOOK 9853, PAGE 1719. (CONTAINS NO EASEMENTS TO DEPICT.)
- RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS, WHICH INCLUDE PROVISIONS FOR A. AN EASEMENT ON THE LAND, B. A LIEN FOR LIQUIDATED DAMAGES, AS SET FORTH IN DECLARATION OF CONDITIONS, COVENANTS, EASEMENTS AND RESTRICTIONS AND BETWEEN WINTER SPRINGS HOLDINGS, INC., A DELAWARE CORPORATION, AND WINTER SPRINGS APARTMENTS, LP, A DELAWARE LIMITED PARTNERSHIP, RECORDED MARCH 2, 2017 IN OFFICIAL RECORDS BOOK 8673, PAGE 98, TOGETHER WITH FIRST AMENDMENT TO DECLARATION OF CONDITIONS, COVENANTS, EASEMENTS AND RESTRICTIONS RECORDED AUGUST 3, 2017 IN OFFICIAL RECORDS BOOK 8964, PAGE 1579. (CONTAINS BLANKET EASEMENTS OVER PRIVATE ROADWAYS.)
- RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF WINTER SPRINGS APARTMENTS - A RESTA, RECORDED IN PLAT BOOK 80, PAGE 63 THROUGH 66, INCLUSIVE, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, AS AMENDED BY RESOLUTION NO. 2018-34 RECORDED APRIL 5, 2019 IN OFFICIAL RECORDS BOOK 9359, PAGE 643. (DEPICTED HEREON.)
- TERMS AND PROVISIONS OF THAT CERTAIN UNRECORDED COMMERCIAL LEASE BY AND BETWEEN SEIKUS WINTER SPRINGS 434, L.L.C. A FLORIDA LIMITED LIABILITY COMPANY, LANDLORD, AND STARBUCKS CORPORATION, A WASHINGTON CORPORATION, TENANT, WITH EFFECTIVE DATE OF SEPTEMBER 14, 2018, AS EVIDENCED BY AND TOGETHER WITH MEMORANDUM OF LEASE RECORDED NOVEMBER 1, 2018 IN OFFICIAL RECORDS BOOK 9365, PAGE 620. (NOT A SURVEY MATTER, CONTAINS NO EASEMENTS TO DEPICT.)
- RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS, WHICH INCLUDE PROVISIONS FOR A. AN EASEMENT ON THE LAND, B. A LIEN FOR LIQUIDATED DAMAGES, AND C. A PRIVATE CHANGE OR ASSIGNMENTS, AS SET FORTH IN DECLARATION OF CONDITIONS, RESTRICTIONS AND EASEMENTS AGREEMENT RECORDED MAY 14, 2019 IN OFFICIAL RECORDS BOOK 9354, PAGE 137. (CONTAINS BLANKET EASEMENTS, ALSO CONTAINS A DRAINAGE EASEMENT BUT THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED BY RECORD DOCUMENT.)
- RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF WSTC OCEAN BLEU, RECORDED IN PLAT BOOK 84, PAGES 37 AND 38, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA. (CONTAINS NO EASEMENTS TO DEPICT.)



ACCURIGHT SURVEYS OF ORLANDO INC., LB 4475
2012 E. Robinson Street, Orlando, Florida 32803
www.AccurightSurveys.net
ACCU@AccurightSurveys.net
PHONE: (407) 894-6314

SCALE: 1" = 20' JOB #89917 SHEET 1 OF 1
ORIGINAL DATE: 4/16/19 DRAWN BY: ANT

PREPARED FOR:
INFINITY ENGINEERING GROUP, LLC

SUBDIVISION NAME: WSTC OCEAN BLEU
LOCATION:
8 STATE ROAD 434
WINTER SPRINGS, FL 32708

LEGEND

BB	BOTTOM OF BANK	MSB	MEASURED
BC	BACK OF CURB	MT	METAL FINISH
BD	BACK OF DRIVE	MSL	METAL SIDING
BE	BENCHMARK	MS	METAL SHEATHING
BF	BENCHMARK	MSR	METAL ROOFING
BG	BENCHMARK	MSB	METAL SIDING
BH	BENCHMARK	MSB	METAL SIDING
BI	BENCHMARK	MSB	METAL SIDING
BJ	BENCHMARK	MSB	METAL SIDING
BK	BENCHMARK	MSB	METAL SIDING
BL	BENCHMARK	MSB	METAL SIDING
BM	BENCHMARK	MSB	METAL SIDING
BN	BENCHMARK	MSB	METAL SIDING
BO	BENCHMARK	MSB	METAL SIDING
BP	BENCHMARK	MSB	METAL SIDING
BQ	BENCHMARK	MSB	METAL SIDING
BR	BENCHMARK	MSB	METAL SIDING
BS	BENCHMARK	MSB	METAL SIDING
BT	BENCHMARK	MSB	METAL SIDING
BU	BENCHMARK	MSB	METAL SIDING
BV	BENCHMARK	MSB	METAL SIDING
BW	BENCHMARK	MSB	METAL SIDING
BX	BENCHMARK	MSB	METAL SIDING
BY	BENCHMARK	MSB	METAL SIDING
BZ	BENCHMARK	MSB	METAL SIDING
CA	CORNER	MSB	METAL SIDING
CB	CORNER	MSB	METAL SIDING
CC	CORNER	MSB	METAL SIDING
CD	CORNER	MSB	METAL SIDING
CE	CORNER	MSB	METAL SIDING
CF	CORNER	MSB	METAL SIDING
CG	CORNER	MSB	METAL SIDING
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CI	CORNER	MSB	METAL SIDING
CJ	CORNER	MSB	METAL SIDING
CK	CORNER	MSB	METAL SIDING
CL	CORNER	MSB	METAL SIDING
CM	CORNER	MSB	METAL SIDING
CN	CORNER	MSB	METAL SIDING
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CP	CORNER	MSB	METAL SIDING
CQ	CORNER	MSB	METAL SIDING
CR	CORNER	MSB	METAL SIDING
CS	CORNER	MSB	METAL SIDING
CT	CORNER	MSB	METAL SIDING
CU	CORNER	MSB	METAL SIDING
CV	CORNER	MSB	METAL SIDING
CW	CORNER	MSB	METAL SIDING
CX	CORNER	MSB	METAL SIDING
CY	CORNER	MSB	METAL SIDING
CZ	CORNER	MSB	METAL SIDING
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DB	DRIVEWAY	MSB	METAL SIDING
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EL	ELECTRIC METER	MSB	METAL SIDING
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FO	FENCE	MSB	METAL SIDING
FP	FENCE	MSB	METAL SIDING
FQ	FENCE	MSB	METAL SIDING
FR	FENCE	MSB	METAL SIDING
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FT	FENCE	MSB	METAL SIDING
FU	FENCE	MSB	METAL SIDING
FV	FENCE	MSB	METAL SIDING
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FY	FENCE	MSB	METAL SIDING
FZ	FENCE	MSB	METAL SIDING
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GF	GAS METER	MSB	METAL SIDING
GG	GAS METER	MSB	METAL SIDING
GH	GAS METER	MSB	METAL SIDING
GI	GAS METER	MSB	METAL SIDING
GJ	GAS METER	MSB	METAL SIDING
GK	GAS METER	MSB	METAL SIDING
GL	GAS METER	MSB	METAL SIDING
GM	GAS METER	MSB	METAL SIDING
GN	GAS METER	MSB	METAL SIDING
GO	GAS METER	MSB	METAL SIDING
GP	GAS METER	MSB	METAL SIDING
GQ	GAS METER	MSB	METAL SIDING
GR	GAS METER	MSB	METAL SIDING
GS	GAS METER	MSB	METAL SIDING
GT	GAS METER	MSB	METAL SIDING
GU	GAS METER	MSB	METAL SIDING
GV	GAS METER	MSB	METAL SIDING
GW	GAS METER	MSB	METAL SIDING
GX	GAS METER	MSB	METAL SIDING
GY	GAS METER	MSB	METAL SIDING
GZ	GAS METER	MSB	METAL SIDING
HA	HAND SIGN	MSB	METAL SIDING
HB	HAND SIGN	MSB	METAL SIDING
HC	HAND SIGN	MSB	METAL SIDING
HD	HAND SIGN	MSB	METAL SIDING
HE	HAND SIGN	MSB	METAL SIDING
HF	HAND SIGN	MSB	METAL SIDING
HG	HAND SIGN	MSB	METAL SIDING
HH	HAND SIGN	MSB	METAL SIDING
HI	HAND SIGN	MSB	METAL SIDING
HJ	HAND SIGN	MSB	METAL SIDING
HK	HAND SIGN	MSB	METAL SIDING
HL	HAND SIGN	MSB	METAL SIDING
HM	HAND SIGN	MSB	METAL SIDING
HN	HAND SIGN	MSB	METAL SIDING
HO	HAND SIGN	MSB	METAL SIDING
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HQ	HAND SIGN	MSB	METAL SIDING
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HS	HAND SIGN	MSB	METAL SIDING
HT	HAND SIGN	MSB	METAL SIDING
HU	HAND SIGN	MSB	METAL SIDING
HV	HAND SIGN	MSB	METAL SIDING
HW	HAND SIGN	MSB	METAL SIDING
HX	HAND SIGN	MSB	METAL SIDING
HY	HAND SIGN	MSB	METAL SIDING
HZ	HAND SIGN	MSB	METAL SIDING
IA	IRON ROD	MSB	METAL SIDING
IB	IRON ROD	MSB	METAL SIDING
IC	IRON ROD	MSB	METAL SIDING
ID	IRON ROD	MSB	METAL SIDING
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IL	IRON ROD	MSB	METAL SIDING
IM	IRON ROD	MSB	METAL SIDING
IN	IRON ROD	MSB	METAL SIDING
IO	IRON ROD	MSB	METAL SIDING
IP	IRON ROD	MSB	METAL SIDING
IQ	IRON ROD	MSB	METAL SIDING
IR	IRON ROD	MSB	METAL SIDING
IS	IRON ROD	MSB	METAL SIDING
IT	IRON ROD	MSB	METAL SIDING
IU	IRON ROD	MSB	METAL SIDING
IV	IRON ROD	MSB	METAL SIDING
IW	IRON ROD	MSB	METAL SIDING
IX	IRON ROD	MSB	METAL SIDING
IY	IRON ROD	MSB	METAL SIDING
IZ	IRON ROD	MSB	METAL SIDING
JA	JACK	MSB	METAL SIDING
JB	JACK	MSB	METAL SIDING
JC	JACK	MSB	METAL SIDING
JD			



Architects
Environmental
M/E/P
Surveyors

Engineers
Landscape Architects
Planners
Transportation/Traffic

5601 Mariner Street
Suite 105
Tampa, FL 33609
Phone: 813.288.0233
Fax: 813.288.0433

Memo

Date: December 19, 2019
To: Christopher Schmidt
Organization: City of Winter Springs
From: Sandra Gorman, PE
Re: Winter Springs Town Center Commercial Outparcels

As requested, CPH has reviewed the traffic study for the Winter Springs Town Center Outparcels dated March 2019. It is our understanding that the traffic analysis was previously reviewed and has been submitted again to support the permitting of the Wendy's restaurant. We have the following comments upon review of the traffic analysis:

- 1) The existing traffic volumes do not appear to be seasonally adjusted to reflect peak season conditions based upon the Seasonal Correction Factors published by FDOT. Based upon the previous acceptance of the traffic analysis, *no revisions are required* to the analysis based upon this comment, however, future analyses should reflect peak season conditions.
- 2) Trip Generation
 - The average rates from ITE Trip Generation 10th Edition were used to calculate the trip generation for all land uses, however, the equation should be used where appropriate. A review of the calculations indicates that only the daily traffic associated with the bank would be impacted significantly by the change (404 daily trips vs. 347 trips reported). However, based upon a review of the roadway analysis the change in calculation would not impact the outcome of the analysis therefore *no revisions to the analysis are required*.
 - Pass-by calculations should be checked for reasonableness to ensure they do not exceed 10% of the adjacent street traffic. Since this only impacts the driveway analysis, *no revisions to the analysis are required*.
 - No internal capture was assumed between uses or in conjunction with the adjacent apartments. This represents a conservative approach to the trip generation and it should be noted that the actual trip generation may be lower as a result of the interaction between uses and the adjacent residential development.



- 3) The signal timings were optimized between existing and future conditions in the Synchro analysis. Signal timings should remain constant between scenarios to better evaluate the actual impact of project traffic and optimization should be noted in the report. Seminole County's dynamic signal system allows for this optimization therefore *no revisions to the analysis are required*, but should be noted in the future.
- 4) SR 434 and Michael Blake Boulevard
 - The traffic analysis recommends monitoring the intersection for future signalization if warrants are met. It should be noted that the intersection does not meet the minimum FDOT signal spacing standard for a Class 3 roadway.
 - A westbound right turn lane is proposed in the traffic study; however it is not reflected in the intersection analysis. Based upon the previous acceptance of the traffic study and the subsequent construction of the turn lane, *no revisions to the analysis are required*. However, upon evaluating the intersection for signalization, the length of the turn lane as recommended in the traffic analysis should be revisited to ensure adequate storage for queueing not required under an unsignalized condition.
 - Similar to the westbound right turn lane, the existing eastbound left turn lane should be re-evaluated upon potential signalization to verify that adequate queue storage is available.
- 5) The proposed Wendy's is 2,163 square feet which is consistent with the trip generation calculations presented in the traffic analysis and therefore the results of the traffic analysis remain consistent with the proposed development.
- 6) The traffic analysis suggested monitoring the intersection of SR 434 and Michael Blake Boulevard for future signalization, based upon the traffic volume projected to use the intersection in the study, it is recommended that a timeframe be established to begin the traffic monitoring. It is recommended to conduct traffic counts and preliminary intersection analysis within 3-6 months of the opening of the proposed development to verify traffic conditions.

If you have any questions concerning the trip generation review, or would like to discuss these items in more detail, please do not hesitate to contact me.

December 12, 2019

Ms. Marla Molina
Sr. Planner
City of Winter Springs
1126 East State Road 434
Winter Springs, FL 32708



INFINITY ENGINEERING
GROUP, LLC

RE: Project Name: Wendy's Store No. 12660
Site Address: 1218 E. State Road 434
Winter Springs, FL 32708
Application No. ZP2019-0000007

Waivers Requested:

1. The eight (8)-foot max building front principle plane setback is not being met (LDC Transect 5 Setback Table).
Response: A waiver is requested to the requirement of LDC Transect 5 Setback for an eight (8)-foot maximum building front principle plane setback to allow a building with a front principle plain setback of ± 54.6 feet.
2. The required minimum of 0 feet and maximum of twenty-four-foot maximum side principle plane setback for the building on the western property side is not being met (LDC Transect 5 Setback Table).
Response: A waiver is requested to the requirement of LDC Transect 5 Setback Table for a side principle plane setback of a minimum of 0 feet and a maximum of 24 feet to allow a building with a side principle plane setback of ± 91.44 feet from the western property line
3. The minimum 80 percent frontage buildout at front setback is not being met (LDC Transect 5 Setback Table).
Response: A waiver is requested to the requirement of the LDC Transect 5 Setback Table for 80 percent building frontage at the front setback to allow a building with ± 25 percent frontage.
4. Since the drive-thru lane is not to the rear of the building and will be visible from State Road 434, either intensified landscaping or a wall shall be provided between the drive thru lane and the adjacent parking along the area between the two (2) drive-thru windows.
Response: A waiver is requested to LDC subsection 20-324(6) requiring drive-thru windows to be located in the rear or in alley accessed location to allow a drive-thru window to the side of the building.
5. Per LDC 20-324(8).f, the landscape islands are required every (6) spaces in the parking lot. **Response: A waiver is requested to the requirement of LDC subsection 20-324(8).f requiring landscaping islands every six (6) parking spaces to allow 10 parking spaces between landscaping islands**

Please do not hesitate to contact us at (813) 434-4770 with any comments or questions.

Sincerely,

Infinity Engineering Group, LLC.

A handwritten signature in blue ink, appearing to read "Nisit Sapparkhao".

Nisit Sapparkhao, P.E.
President



**CITY OF WINTER SPRINGS
COMMUNITY DEVELOPMENT DEPARTMENT**

1126 East State Road 434
Winter Springs, Florida 32708
customerservice@winterspringsfl.org
Application – Waiver

The Community Development Director reserves the right to determine whether this application is complete and accurate. An incomplete application will not be processed and will be returned to the applicant. The application shall be reviewed per Chapter 20 – Zoning Sec. 20-34. The sufficiency review shall be completed within thirty (30) calendar days per FL Statute 166.033.

Applicants are responsible for posting notice (provided by the city) on the site at least seven (7) days prior to the Planning & Zoning Board (PZB) meeting at which the matter will be considered. Said notice shall not be posted within the City right-of-way.

All applicants shall be afforded minimal due process as required by law, including the right to receive notice, be heard, present evidence, cross-examine witnesses, and be represented by a duly authorized representative. Applicants are further advised that a Waiver is quasi-judicial in nature.

Therefore, APPLICANT ACKNOWLEDGES and AGREES, by signing below, that he or she:

- May be sworn-in as a witness in order to provide testimony to the City Commission;
- Shall be subject to cross-examination by party intervenors (if requested); and
- Shall be required to qualify expert witnesses, as appropriate.

Applicants are encouraged to familiarize themselves with Chapter 2 – Administration Sec. 2-30 of the Winter Springs City Code relating to Quasi-Judicial Rules and Procedures of the City Commission. All Waiver recommendations shall be based from the required information/documentation provided, the Winter Springs Code of Ordinances, and the Winter Springs Comprehensive Plan (to the extent applicable).

The City Commission (CC) shall render all final decisions regarding Waivers and may impose reasonable conditions on any approved Waiver to the extent deemed necessary and relevant to ensure compliance with applicable criteria and other applicable provisions of the Winter Springs Code of Ordinances and the Winter Springs Comprehensive Plan. All formal decisions shall be based on competent substantial evidence and the applicable criteria as set forth in Chapter 20, Zoning. Applicants are advised that if, they decide to appeal any decisions made at the meetings or hearings with respect to any matter considered at the meetings or hearings, they will need a record of the proceedings and, for such purposes, they will need to insure that a verbatim record of the proceedings is made, at their cost, which includes the testimony and evidence upon which the appeal is to be based, per Florida Statute 286.0105.

A Waiver which may be granted by the City Commission shall expire two (2) years after the effective date of such approval by the City Commission, unless a building permit based upon and incorporating the Waiver, is issued by the City within said time period. Upon written request of the property owner, the City Commission may extend the expiration date, without public hearing, an additional six (6) months, provided the property owner demonstrates good cause for the extension. In addition, if the aforementioned building permit is timely issued, and the building permit subsequently expires and the subject development project is abandoned or discontinued for a period of six months, the Waiver shall be deemed expired and null and void, per Chapter 20 – Sec.20-36.



CITY OF WINTER SPRINGS
COMMUNITY DEVELOPMENT DEPARTMENT

1126 East State Road 434
Winter Springs, Florida 32708
customerservice@winterspringsfl.org

Application – Waiver

REQUIRED INFORMATION:

Applicant(s): James Vandercrake (agent) Date: _____

Mailing address: Infinity Engr. Group, 1208 E. Kennedy blvd., Suite 230, Tampa, FL 33602

Email: james@iegroup.net

Phone Number: 813-434-4770

Property Owner(s): JDBS Winter Springs, LLC, Joseph DiGerlando, Manager

Mailing Address: 14608 North Dale Mabry Hwy., Tampa, FL

Email: floridaequitycapital@hotmail.com

Phone Number: 813-961-8715

Project Name: Wendy's #12660

Property Address: 1218 East State Road 434, Winter Springs, FL 32708

Parcel ID(s): 06-21-31-506-0000-0040

Parcel Size: 25,676 s.f./0.589 ac.

Existing Use: vacant/undeveloped

Future Land Use: Town Center District T5

Zoning District: TC (T5)

All waiver requests shall be written in the following format: A waiver is requested from Winter Springs City Code 'X' to allow 'Y' in lieu of 'Z'. After the request, the applicant shall provide a justification for each waiver request.

List Waiver(s)(provide additional sheets if necessary): See attached waiver list.

Demonstrate that the applicable term or condition clearly creates an illogical, impossible, impractical, or patently unreasonable result related to the proposed property and development?

The Wendy's site is bordered on three sides by public streets and the fourth by a shared entrance drive aisle. Setback and buffering requirements along with vehicular circulation for emergency vehicles and patron access adversely limit the developer's ability to comply with code.



**CITY OF WINTER SPRINGS
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Application – Waiver

Demonstrate that the proposed development plan is in substantial compliance with Chapter 20 of the City's Code of Ordinances and in compliance with the Comprehensive Plan?

The project contributes to the Infrastructure Element of the Comprehensive Plan by constructing off-site water & sewer mains. The restaurant building has been architecturally enhanced to conform to the T5 (Urban Center Zone) building height minimum of 2 stories. The restaurant building conforms to side and rear setbacks. Landscaping, site and building lighting and signage in conformance with the code.

Will the proposed development plan significantly enhance the real property?

The development will enhance the real property by providing a food source destination along with a source of employment and tax paying property owner.

Will the proposed development plan serve the public health, safety, and welfare of the City of Winter Springs?

The restaurant will provide a safe work environment and an economic boost to the local economy

Will the waiver diminish property values in or alter the essential character of the surrounding neighborhood?

The waiver will allow development of the parcel in a way consistent with the existing and proposed commercial uses and will not diminish property values in our opinion. Proposed pedestrian access circulation patterns will provide adjacent residents with a meeting destination to reduce vehicular traffic.

Is the waiver request the minimum waiver that will eliminate or reduce the illogical, impossible, impractical, or patently unreasonable result caused by the applicable term or condition under Chapter 20 – Zoning?

The requested waiver items allow the developer to construct a business which conforms to the corporate image that customers easily identify and provides a safe pedestrian and vehicular circulation pattern.

Is the proposed development plan compatible and harmonious with the surrounding neighborhood?

The Wendy's is similar in theme to the adjacent Starbucks and will blend with the Chase Bank and multi tenant retail facility in providing pedestrian access to a variety of services.



**CITY OF WINTER SPRINGS
COMMUNITY DEVELOPMENT DEPARTMENT**

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Application – Waiver

Has the applicant agreed to a binding development agreement required by city to incorporate the terms and conditions of approval deemed necessary by the City Commission including, but not limited to, any mitigative techniques and plans required by city code? Yes No TBD

List all witnesses that the applicant intends to present to the City Commission to provide testimony:

Brian Schultz, Bleu Ocean Group

Mike Muroff, Purdy Muroff Architects

Describe with specificity any evidence which the applicant intends to present to the City Commission, including oral factual testimony, maps, photographs, records or reports and/or expert testimony:

Attach all documentary evidence which the applicant intends to present to the city commission to the back of this application. The Applicant has a continuing duty to update the list of witnesses, description of evidence, and documentary evidence throughout the application process. Additional witnesses or evidence will not be admitted at the city commission hearing if not submitted at least seven (7) days prior to such hearing.

REQUIRED DOCUMENTATION (PDF):

- X A complete Application and Fee (\$500.00*)
- X A general description of the relief sought under this division
- X A brief explanation, with applicable supporting competent substantial evidence and documents, as to why the application satisfies the relevant criteria set forth in this division
- X A Legal Description accompanied by a certified survey or the portion of the map maintained by the Seminole County Property Appraiser reflecting the boundaries of the subject property (To scale).
- X An Excel mailing list with the names and addresses of each property owner within 500 ft. of each property line, along with the HOA Associations within 1/2 mile of each property line.
- For all new commercial development and new residential subdivisions of ten (10) or more lots or existing commercial buildings being altered by 50 percent or greater of the original floor plan or seating capacity and requiring a modified site plan, or development agreements process under section 20-28.1 of the City Code, or as otherwise deemed applicable by the city to relevantly and competently examine an application for compliance with the city code and the affect and impact the proposed use will have on neighborhood and surrounding properties, applicants shall be required to submit with the following additional information referenced in Chapter 20 – Zoning Sec.20.29 Applications (7) – (11).

* Fees are as shown above plus actual costs incurred for advertising or notification, and for reimbursement for technical and/or professional services which may be required in connection with the review, inspection or approval of any development (based on accounting submitted by the city’s consultant) , payable prior to approval of the pertinent stage of development.



CITY OF WINTER SPRINGS
COMMUNITY DEVELOPMENT DEPARTMENT

1126 East State Road 434
Winter Springs, Florida 32708
customerservice@winterspringsfl.org

Application – Waiver

CITY LIMITED RIGHT OF ENTRY: By submitting this Application you hereby grant temporary right of entry for City Officials to enter upon the subject property for purposes of evaluating this Application and posting on the subject property.

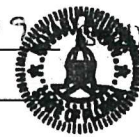
APPLICANT'S AUTHORIZATION: I desire to make Application for a Waiver for the aforementioned project and have read and agree to the terms contained herein. In addition, if the Applicant is a corporate entity, the undersigned hereby represents and warrants that he/she is authorized to act on behalf of, and bind, the corporate entity.

Applicant Name (Print): James Vandercrake (agent)
Applicant Signature: [Signature] Date: 10/17/19
Business Name: Infinity Engineering Group, LLC
Address: 1208 E Kennedy Blvd Ste 230, Tpa, FL 33602 Parcel ID: 06-21-31-506-0000-0040

STATE OF FL COUNTY OF Hillsborough Date _____

The foregoing instrument was acknowledged before me this 17 day of October, 2019, by James Vandercrake who is personally known to me or who has produced _____ as identification and who did did not take an oath.

Edwin Prado Date: October 17, 2019
Notary Public Signature: [Signature]
My Commission expires: April 2, 2022



Note: The Property Owner shall sign and have their signature notarized below if the Applicant is not the owner of the subject property.

Property Owner's Name (Print): Joseph DiGerlando, Manager
Property Owner Signature: [Signature] Date 10/17/19
STATE OF FL COUNTY OF HILLSBOROUGH

The foregoing instrument was acknowledged before me this 17 day of OCTOBER, 2019, by JOSEPH DIGERLANO who is personally known to me or who has produced _____ as identification and who did/did not take an oath.

Date: _____ (seal):
Notary Public Signature: [Signature]
My Commission expires: 1/17/2021



JOSHUA C HORROCKS
MY COMMISSION # GG 055965
EXPIRES: January 17, 2021
Bonded Thru Budget Notary Services